

88 Lakeview Ct

APPLE VALLEY LAKE

DESIGNED & BUILT BY
BDK Design and Build, LLC

Build & Property Portfolio



BLACK. STEEL. GLASS. WATER.

DETAILS & PHOTOS

FOR  SAIL |
APPLE VALLEY LAKE LIVING



RE/MAX Consultant Group, Apple Valley Lake

Based on original plans and builder information. Features and selections may have changed.
Buyers should independently verify current specifications and conditions.

BUILD & PROPERTY PORTFOLIO



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This portfolio brings together the home's story and original construction records. Selections and drawings may differ from current installed conditions. Please read them alongside current property disclosures and inspections.

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Property Story & Overview

A lifelong connection to Apple Valley Lake,
and the vision that shaped this home.

A lifelong connection

Long before the first plans for 88 Lakeview Court, its story began with a childhood on Apple Valley Lake. The owner had known and loved these waters since the late 1970s, when he was not yet ten. The lake was already woven into his life. Building here offered a way to carry that connection forward.

The Lakeview Court setting held particular appeal, with views reaching toward both the north and south ends of the lake. For someone who had spent decades getting to know its shoreline, this was a place to create something personal.

An introduction through longtime local friends brought him to Brian Kight of BDK Design and Build. Their first meeting set the tone. The owner arrived on his Harley with photographs of several Apple Valley lakefront homes he admired. As Brian looked through them, a remarkable connection emerged: he had built every one.

Brian saw an opportunity to design something distinctly their own. He proposed a more modern home that would reflect the owner's personality and the way he wanted to live. Ideas developed through successive drawings, and the owner gave him the creative freedom to pursue the vision fully.

A shared love of rock and roll added to the chemistry. What began as a building project grew into a friendship, with trust and enthusiasm giving both men the confidence to keep exploring what this home could become.

“It wasn’t work... it was passion!”

Brian Kight, BDK Design and Build

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The vision takes shape

Steel and glass gave that vision its architectural voice. Bringing the design to life called for specialized trades and structural solutions, with care extending well beyond the finishes in view. Custom cabinetry and thoughtfully selected appliances added another layer of craftsmanship throughout the home.

The priorities were clear: a kitchen made for cooking, an exceptional Owner's Suite, and generous outdoor spaces to enjoy the lake. One of Brian's favorite details is the bridge connecting the great room to the Owner's Suite wing. It creates a memorable passage through the home while offering privacy when weekends and holidays bring a houseful of guests.

That balance runs through the design. There is room for company and celebration, along with places to step away and enjoy the view. The lakeside firepit became a particular favorite, a simple pleasure within a home full of striking details.

For the owner, the deepest reward has been watching his children, their friends and his grandchildren experience the lake he grew up loving. Waterskiing in the morning fog at daybreak remains one of his favorite pleasures. Seeing another generation make its own memories here gives the setting a meaning no floor plan can capture.

Brian hopes the next owner will feel the friendship and care behind the home, even in details a first visit might miss. Its bold architecture carries an easy invitation: settle in, bring the people you love, and make the lake part of your own story.

A home shaped by the lake

Designed and built by BDK Design and Build, LLC, this contemporary lakefront home brings together expressive architecture, substantial hidden construction and places for family and friends to gather.

Architectural presence

An engineered bow-truss roof creates a great room with a ceiling approximately 20 feet 6 inches high. Commercial storefront glazing and a bridge to the Owner's Suite wing give the interior its distinctive scale.

Craftsmanship throughout

Stained poplar millwork, custom cabinetry, solid-core doors and fabricated steel elements carry the architectural character from room to room.

Life outdoors

The pool and heated spa, outdoor kitchen, layered patios and two-level dock extend daily living toward Apple Valley Lake.

Comfort behind the scenes

Three heating and cooling systems, heated garages and spray-foam insulation support the home's everyday use.

Design & Construction

Architectural planning, engineered structure
and the materials behind the finished home.

Strength beneath the finishes

Foundation and framing

Poured-concrete foundation walls support exterior framing in 2x6, 2x8 and 2x10 assemblies. The builder identifies 1/2-inch Zip System sheathing, with double sheathing in selected shear-wall areas.

Concealed structural steel

Steel beams and columns carry major loads within the finished structure. Separate engineering records document steel, truss and I-joist components.

The great-room roof

An engineered bow-truss roof system allows for the great room's tall ceiling and open space. The builder reports two layers of 1/2-inch roof sheathing.

Foundation protection

The builder record identifies Eco-Seal and GMX Ultra Shield waterproofing with Drain R-10 board at the poured-concrete walls.

Engineered connections

Anchors, strapping and reinforced wall assemblies connect the structural components, as documented in the builder correspondence and engineering record.

Hidden reinforcement

The engineering story continues below the basement floor, around exterior openings and through the floor system.

Bearing points

Concrete bearing pads beneath the basement floor support concealed steel columns and load-carrying beams.

Openings and corners

The builder describes grouped 2x6 reinforcement tied to the poured foundation with steel anchors and galvanized dowels.

Floor-system connections

Steel I-beams and floor strapping tie the I-joist system to the concealed framework. Horizontal straps are reported in multiple locations.

Wall reinforcement

Selected exterior walls received steel strapping and an additional 3/4-inch plywood layer, with closely spaced seam nailing.

Engineered wood beams

LVL beam sizing was coordinated through Holmes Lumber and the project engineering teams.

Roof & exterior cladding

Great-room roof

The builder identifies a black Burkeline CSPE roof system installed by M.E.B. Systems Inc.

Remaining roof areas

Black Owens Corning shingles are identified in the builder's roofing information, with installation by M and M Roofing.

James Hardie selections

The exterior product record includes the Aspyre Collection by James Hardie, with Artisan Shiplap and Artisan Square Channel profiles.

Profile details

The selected catalog profiles list a 10.25-inch board width, 9-inch exposure, 5/8-inch thickness, smooth texture and primed finish.

Deck surfaces and railings

Duradek Ultra Legacy in Barnwood is identified at the rear deck, theater-room deck and upper dock. Key-Link cable-railing product information is included in the exterior record.

Windows, ceilings & garages

Commercial glazing

Tubelite T14000 Series storefront windows and exterior doors use thermally improved 2 x 4-1/2-inch frames. The project supplier was Richardson's Glass.

Ceiling heights

The builder reports approximately 20 feet 6 inches in the great room and approximately 9-foot ceilings on the lower level.

Wood-plank ceilings

Stained tongue-and-groove pine finishes the Owner's Suite bedroom ceiling and the bridge hallway from the great room.

Finished garage spaces

The garages are described as insulated with open- and closed-cell spray foam, heated, painted and trimmed. A commercial Tubelite personnel door serves the rear.

Garage doors

C.H.I. Sterling Collection Model 2717 doors were selected in deep black with black-tinted glass.

Interior Finishes & Cabinetry

Room-specific selections, custom millwork
and distinctive fabricated steelwork.

Materials with character

Millwork

Stained poplar is used for baseboards, casings, and window and door jambs. Tongue-and-groove pine and cedar accents appear at selected ceilings and walls.

Interior doors

Solid-core Masonite swinging doors are complemented by custom BDK sliding doors with a distressed metal finish and aged patina.

Wood flooring

The builder identifies Homestead Collection wood planking in Tranquility, recorded as 5/8-inch by 7-1/2-inch, product HS127TR.

Tile and concrete

The interior selection package combines large-format and accent tile with polished-concrete flooring on the lower level.

Cabinetry throughout

Room-specific cabinetry uses rustic hickory, knotty hickory, knotty alder and selected specialty finishes. Full-overlay, inset and European-style construction vary by room.

Custom steelwork

BDK designed four distinctive fabricated steel elements, manufactured by Matern Metal Works.

Two-story staircase

The open-steel staircase and railings feature 3-inch solid poplar treads milled by Carter's Custom Millwork and bolted to the steel frames.

Front entry

Custom decorative and structural steelwork at the front entry appears in the fabrication drawings.

Multi-level fireplace

Custom 14-gauge hot-rolled steel panels wrap the fireplace structure. The builder reports a 10 x 16-foot, 12-inch-deep footing beneath the fireplace and staircase area.

Wood storage

A large custom steel wood rack completes the group of fabricated features identified by the builder.

Cabinetry by room

CABINET SELECTIONS

Kitchen

Full-overlay rustic hickory with BVHP doors and drawers, beveled edges, soft-close operation and 4-inch flat crown.

Pantry

Full-overlay knotty alder with BVHP doors and drawers, beveled edges, soft-close operation and 4-inch flat crown.

Mudroom

Full-overlay knotty hickory with BVHP doors and drawers, beveled edges and soft-close operation.

Owner's Suite bedroom

Full-overlay knotty hickory with slab doors and drawers, soft-close operation and 4-inch flat crown.

Owner's Suite bathroom

Inset / European knotty hickory with slab doors and drawers, soft-close operation and 4-inch flat crown.

Owner's Suite closet

European-style knotty hickory with BVHP doors and drawers, beveled edges and soft-close operation.

Baths, laundry & office

ROOM DETAILS & CABINET SELECTIONS

Main level half bath

European / inset knotty alder with zebra-slab doors and drawers.

Lower level family room half bath

Full-overlay knotty hickory with slab-zebra doors and drawers.

Pool/changing area half bath

European-style N.C. 15503 / Fenix selection with slab doors and drawers.

Main level laundry room

European-style knotty alder with BVHP doors and drawers, beveled edges and soft-close operation. Includes a towel rack.

Lower laundry

Full-overlay N.C. 15503 / Fenix selection with slab doors and drawers.

Office

European-style knotty hickory with BVRP doors and drawers, beveled edges and soft-close operation.

Guest room full en-suite baths

Full-overlay N.C. 15503 / Fenix selections with slab doors and drawers. Granite countertops were specified separately. Includes the full bath adjoining the theater room.

Bars & specialty cabinetry

CABINET SELECTIONS

Fireplace wine bar

Beside the fireplace near the kitchen, with a wine cooler. European / inset rustic hickory cabinetry with slab-zebra doors and drawers.

Lower-level bar

Full-overlay rustic hickory with BVHP doors and drawers, beveled edges and soft-close operation.

Loft wet bar

On the upper level just off the theater room. European-style rustic hickory cabinetry with slab-zebra doors and drawers.

Safe Room

Full-overlay laminate cabinetry in a brushed-aluminum finish with slab chemical-metal 214 door and drawer faces. The room has a SnapSafe vault-style entry door.

Outdoor kitchen

Full-overlay waterproof Wewer cabinetry with shaker doors and drawers.

Appliances

Appliances by location, with model references from the original cabinet order and drawings.

Main kitchen

Thermador 24-inch built-in refrigerator: T24IR900SP.

Separate freezer: T18F901SP.

Thermador range with double ovens: PRD486WLGU.

Two Thermador dishwashers: DWHD770WFP, shown in kitchen drawings.

Thermador 30-inch drawer microwave: MD30WS.

Thermador warming drawer below the microwave: WD30WC.

Thermador 48-inch ventilation hood: HPCN48WS.

Additional appliances by location

Pantry: Thermador refrigerator.

Lower-level bar: dishwasher and two U-Line mini refrigerators.

Drawing references: DWHD770WFP dishwasher and U-2224RS-00B refrigerators.

Beside the main-level fireplace: wine cooler.

Owner's Suite: U-Line mini refrigerator.

Loft bar: refrigerator and microwave shown in the cabinetry drawings.

Outdoor kitchen serving bar

Viking built-in grill and stainless-steel ventilation hood.

Two Viking undercounter outdoor refrigerators.

Original drawing references: VRUO5240DLSS and VRUO5240DRSS.

Interior paint palette

The builder's paint schedule records the following original color assignments.

Chatura Gray

Owner's Suite wing walls except the west bedroom wall; kitchen, dining, pantry, mudroom, main laundry and main half bath; lower-level laundry, bedrooms, baths, changing-area half bath and exterior door; second-floor loft guest bedroom and bath.

Urbane Bronze

West wall behind the headboard in the Owner's Suite bedroom; large great-room wall; lower-level wall beneath it; Safe Room.

Spalding Gray

Second-floor open-loft walls and the main-floor front-door wall.

Mink

Theater-bathroom areas.

Fired Earth

Theater-room walls and ceiling.

Tile & stone selections

Large-format tile

Gravity Silver, 30.6 x 62.5 cm; Steel Corner ACT Ret, 51 x 103 cm; Nation Navy Blue, 37 x 75 cm.

Wall and accent tile

Vals Mix Cold, 15 x 30 cm; Silver Grey Polished Somerset; Montblanc Negro, 33 x 60 cm.

Copper-toned accents

Copper/Rust, 7.5 x 15 cm and 40 x 60 cm; Ionic Copper Mosaic, 5 cm.

Steel Grey granite

The fabrication record identifies 3-centimeter Steel Grey granite across kitchen and bar surfaces, the outdoor kitchen, Owner's Suite bathroom and closet, baths and service areas.

A coordinated material record

Granite selections also extend to the Owner's Suite tub surround and curb, laundry areas, mudroom, pool/changing area half bath and other specialty surfaces.

Kitchen & Owner's Suite fixtures

PLUMBING SELECTIONS

Owner's Suite bathroom

Vanquish toilet; two Tesla 552TLF-SS lavatory faucets; Tesla shower trim and controls; Aker OV-4260 tub; Tesla T4752-SS tub filler with R4707 rough-in.

Owner's Suite wet bar

Mateo 9983-AR-DST sink faucet.

Main kitchen

Two Mateo 9183-AR-DST kitchen faucets; two ISE Pro PRO-1000LP disposers; Contemporary 1165LF-AR pot filler.

Additional wet-bar faucet reference

Mateo 9983-AR-DST, listed on the original kitchen/wet-bar schedule.

Main level half bath

Vanquish 4987-3987WH toilet and Ara 568LF-SSMPU lavatory faucet.

Laundry faucets

Mateo 9183T-AR-DST sink faucet listed for both main and lower-level laundry areas.

Guest & lower-level fixtures

PLUMBING SELECTIONS

Second-floor guest full ensuite bath

Vanquish toilet; two Vero 553LF-SS lavatory faucets; Aker SBA-3660 RH WH tub; Vero T14453-SSH2O tub/shower trim with rough-in.

Guest full ensuite bath by the theater

Vanquish toilet; two Vero 553LF-SS faucets; Aker S-36 shower; Vero T14253-SSH2O shower trim with rough-in.

Lower-level guest full ensuite Baths 4 and 5

Each: Vanquish toilet, Vero 553LF-SS faucet, Aker S-36 shower and Vero T14253-SSH2O trim with rough-in.

Lower-level guest full ensuite Bath 6

Vanquish toilet, Vero 553LF-SS faucet, Aker S-42 shower and Vero T14253-SSH2O trim with rough-in.

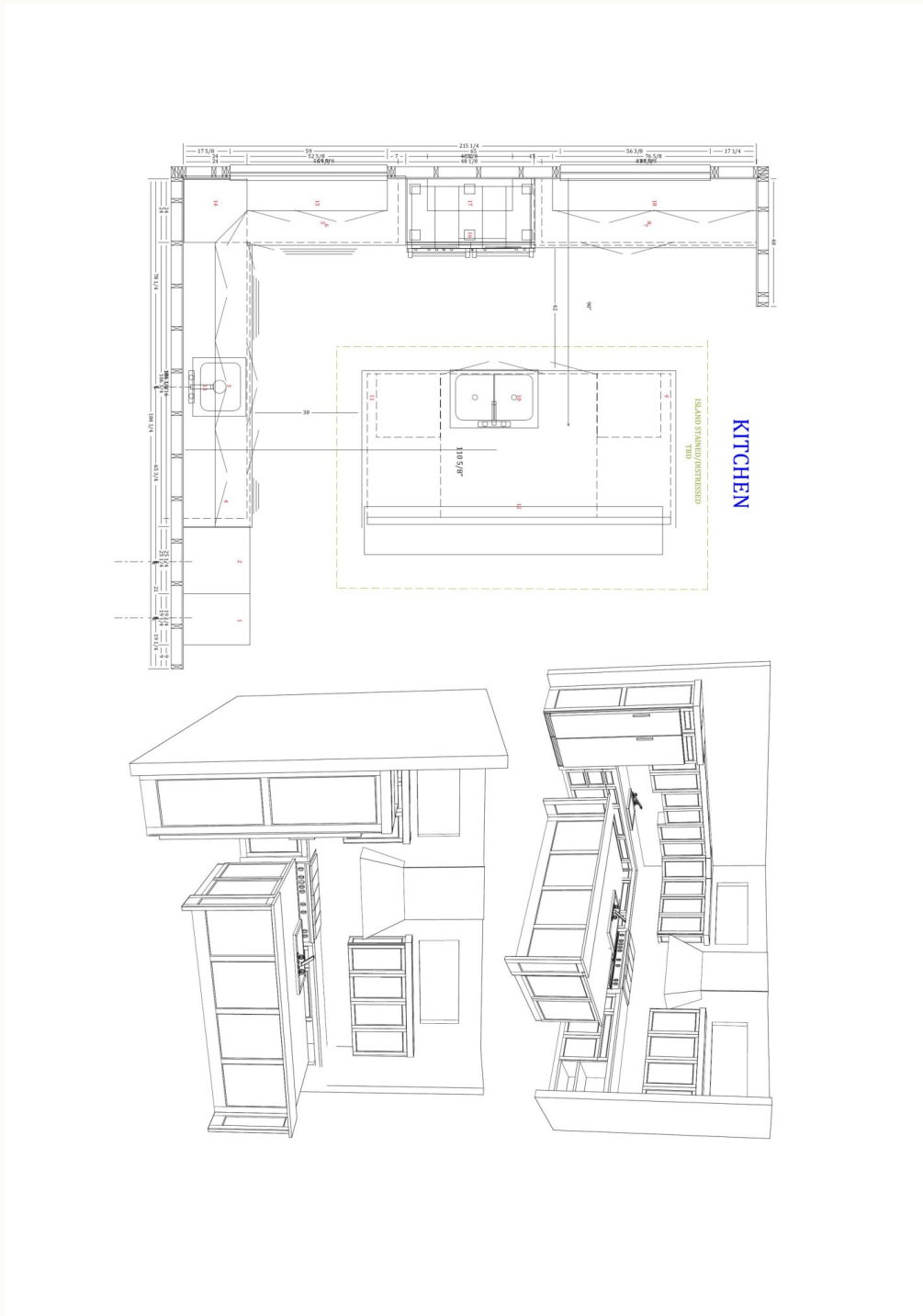
Two downstairs half baths

Lower level family room half bath and pool/changing area half bath.
Original selections for each: Vanquish toilet and Ara 568LF-SSMPU lavatory faucet.

Lower-level bar

Mateo 9183-AR-DST sink faucet and ISE Badger 5 disposer.

Kitchen plan & perspectives



Historical construction drawing. Dimensions and field conditions may vary.

Based on original plans and builder information. Features and selections may have changed.
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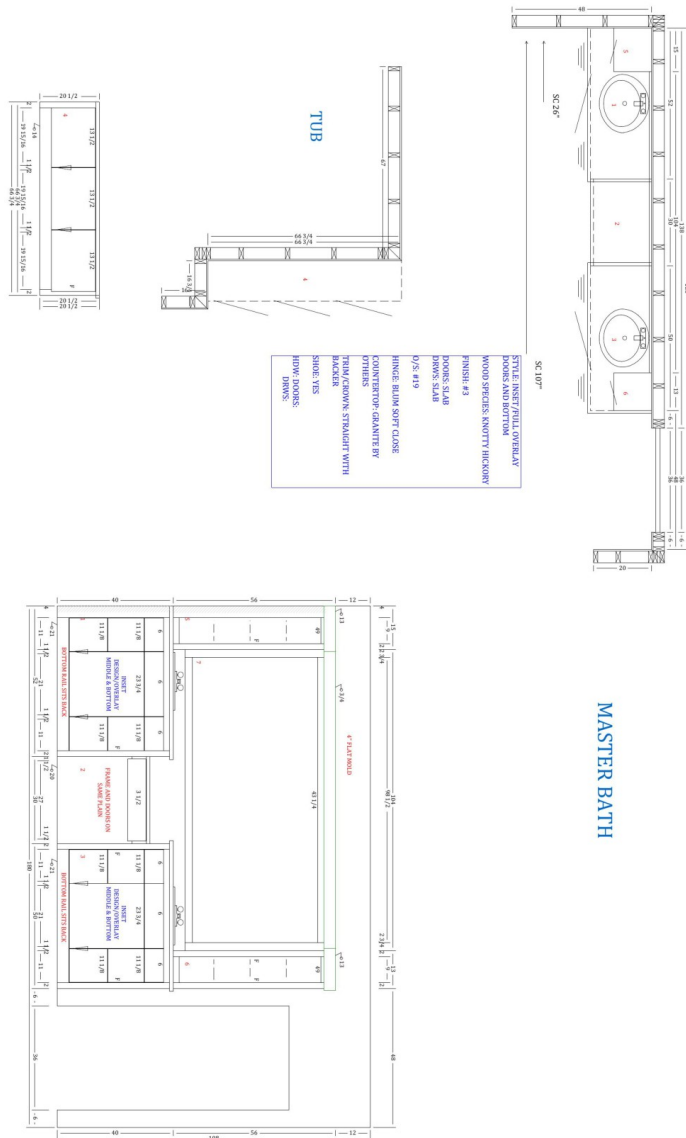
Kitchen elevations



Historical construction drawing. Dimensions and field conditions may vary.

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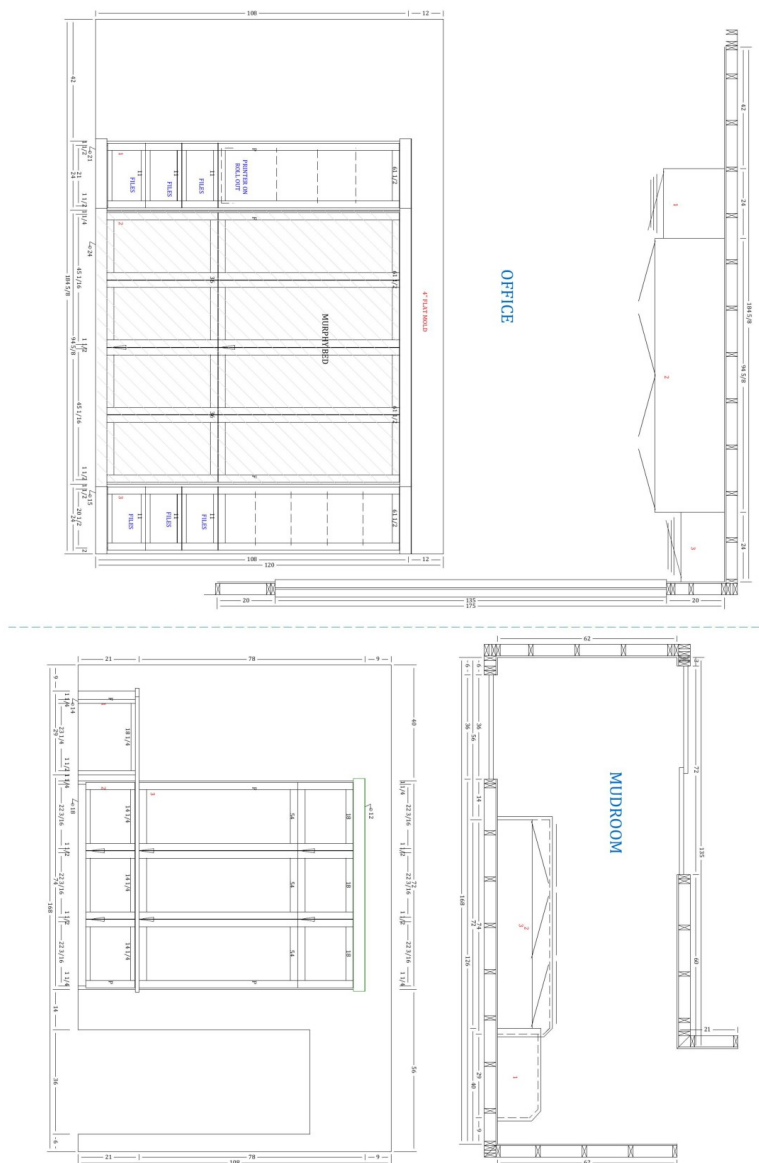
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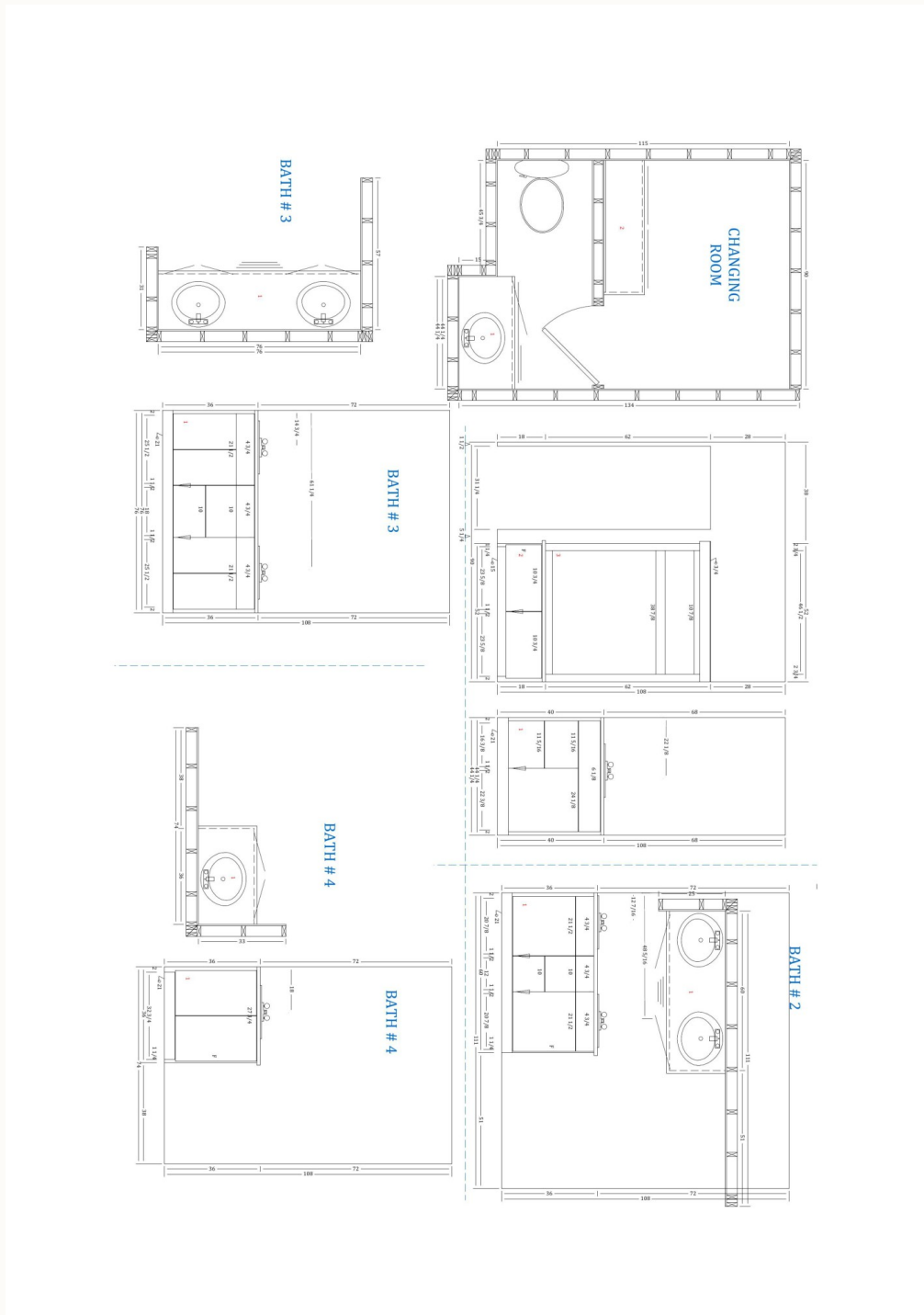
Office & mudroom cabinetry



Historical construction drawing. Dimensions and field conditions may vary.

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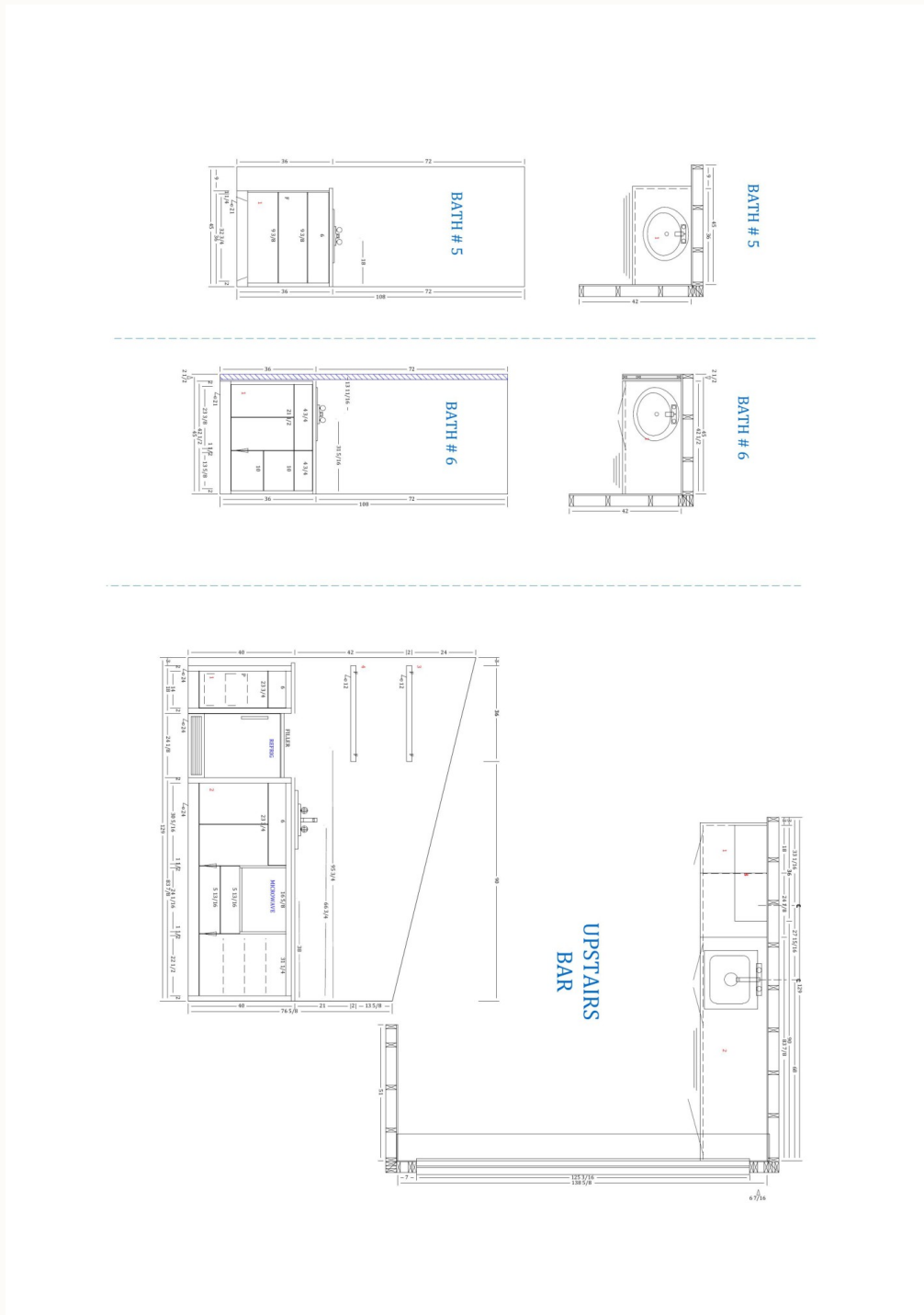
Half-bath & guest-bath cabinetry



Original drawing: "changing room" identifies the pool/changing area half bath; guest-bath cabinetry also shown.

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Additional baths & loft wet bar



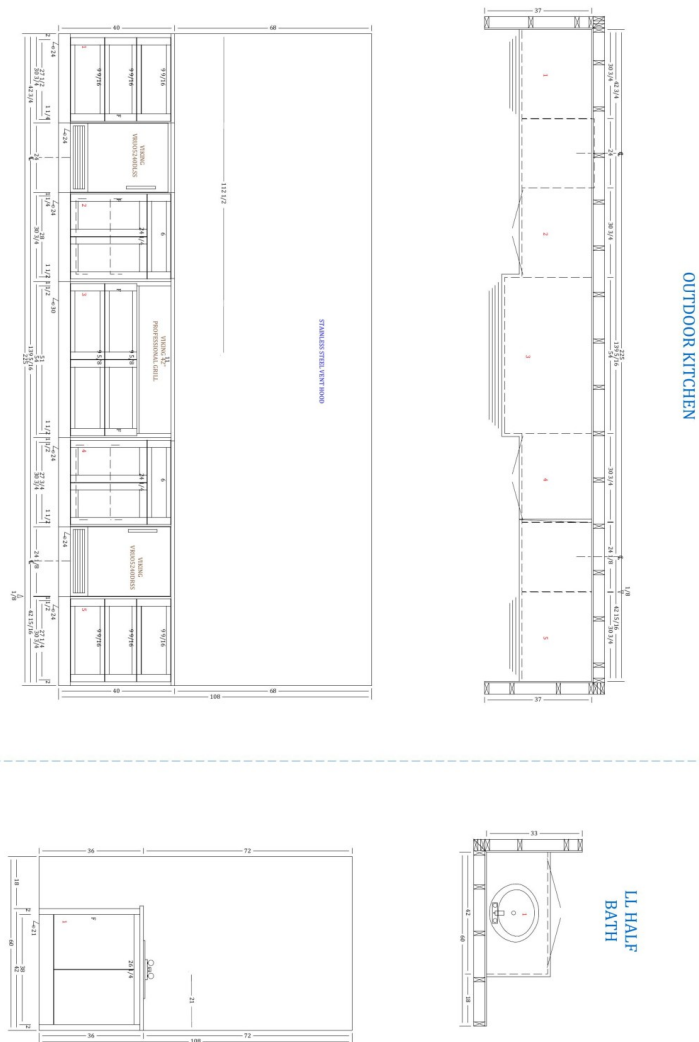
Historical construction drawing. Dimensions and field conditions may vary.

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Outdoor kitchen cabinetry



Historical construction drawing. Dimensions and field conditions may vary.

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Mechanical Systems

Heating, cooling, insulation and
moisture-management features.

Heating, cooling & ventilation

Three main systems

The builder reports two systems serving the principal house and a separate system for the Owner's Suite wing. Furnaces are described as 96-percent efficient and two-stage, with oversized media filters.

Heated garages

Two Reznor UDAP-45 gas unit heaters are mounted on swivel ceiling brackets, sidewall vented and thermostat controlled.

Kitchen ventilation

A dedicated exhaust path serves the kitchen ventilation hood.

Pool-equipment room

The builder reports dedicated exhaust ventilation for the equipment room.

Humidity control

An Aprilaire dehumidifier serves the Safe Room, ducted to the exterior with wall-mounted controls.

Insulation & moisture protection

Spray-foam package

The builder identifies Spray Foam Solutions / R.I.E. Raber Insulation Experts and SWD Quick Shield foam.

Open-cell foam

Reported at specified rim joists, exterior walls, gables and rooflines, with depths of approximately 4.5, 6 and 8 inches. Ceiling insulation is reported as R-39.

Closed-cell foam

Reported at foundation walls and selected floors, including Owner's Suite bedroom and equipment-room areas, at approximately 3.5 to 4.5 inches.

Foundation waterproofing

Eco-Seal and GMX Ultra Shield waterproofing with Drain R-10 board are identified in the builder record.

Footer drainage

Interior footer drains use gravity drainage with sump-pump support. Exterior footer drains are reported to discharge by gravity toward the lake.

Smart-Home Technology

Motorized shades, connected living
and documented electrical features.

Shades & connected living

Motorized window shades

QMotion motorized shades are wired throughout the home except for the Owner's Suite bathroom and the north-facing dining room window. These battery-powered shades were added later.

Internet connection

Starlink is the current internet service. Spectrum service is also available. Service arrangements and account access are separate from the physical home.

Home controls & entertainment

Project information describes smart-home features involving lighting, shades and audio. The builder also describes a television and ceiling speakers in the outdoor kitchen area.

Everyday use & technical support

Household members are familiar with day-to-day controls. Additional technical documentation and guidance have not been available from the original out-of-state installer. Repairs, updates and future upgrades should be reviewed with a qualified smart-home specialist.

Current shade operation

Following recent service, some motorized shades still operate intermittently. They may need manual assistance to start or a power off/on reset. The control screen displays unresolved errors for some shades; the cause has not been determined.

Lighting & electrical features

The electrical project record documents lighting and device selections throughout the home and waterfront areas.

Layered lighting

LED recessed fixtures, high recessed lighting, soffit lighting and undercabinet lighting are listed in the installation record.

Lighting controls

The record lists twelve dimmers for wireless lighting control, along with gloss-black Decora devices, plates and additional dimmers.

Decorative fixtures

The builder identifies Shades of Light and Big Ass Fans as sources for selected fixtures.

Dock electrical service

A 100-amp underground service and dock lighting work are documented, including dock-lift soffit and recessed lighting.

Safety devices

Smoke and carbon-monoxide combination devices with battery backup appear in the original electrical record.

Pool & Outdoor Living

The pool, spa, outdoor kitchen
and surrounding patios.

Pool & heated spa

Custom construction

BDK installed a steel-wall pool with concrete perimeter footings, a vermiculite floor and a custom vinyl liner.

Liner and wall system

Brian confirms that the Merlin liner was selected. The Cardinal wall/layout plan identifies 48-inch steel panels; the Merlin drawing records the liner and step geometry, with a maximum depth of approximately 7 feet 6 inches.

Heating and equipment

The builder reports a heated pool and spa, with Pentair equipment and lighting.

Current treatment

The pool service information supplied in September 2026 reports chlorine treatment following conversion from the original saltwater system.

Reference and condition

The manufacturer identifies a non-diving pool. Historical drawings describe design details; they do not certify the present installation. Current service findings and equipment condition should be reviewed with the separate property disclosures and pool professional.

Outdoor kitchen & patios

Outdoor cabinetry

Full-overlay waterproof Wewer cabinetry with shaker doors and drawers was selected for the outdoor kitchen.

Cooking and gathering

The outdoor kitchen serving bar includes a Viking built-in grill, a stainless-steel ventilation hood and two Viking undercounter refrigerators. Stonework, a stainless-steel backsplash, a television and ceiling speakers complete the entertaining area.

Paver selections

Unilock Beacon Hill pavers in River are accented with Copthorne borders.

Steps and pool coping

Charcoal steps with integrated lighting connect outdoor levels. The builder identifies stone pool coping as an upgrade.

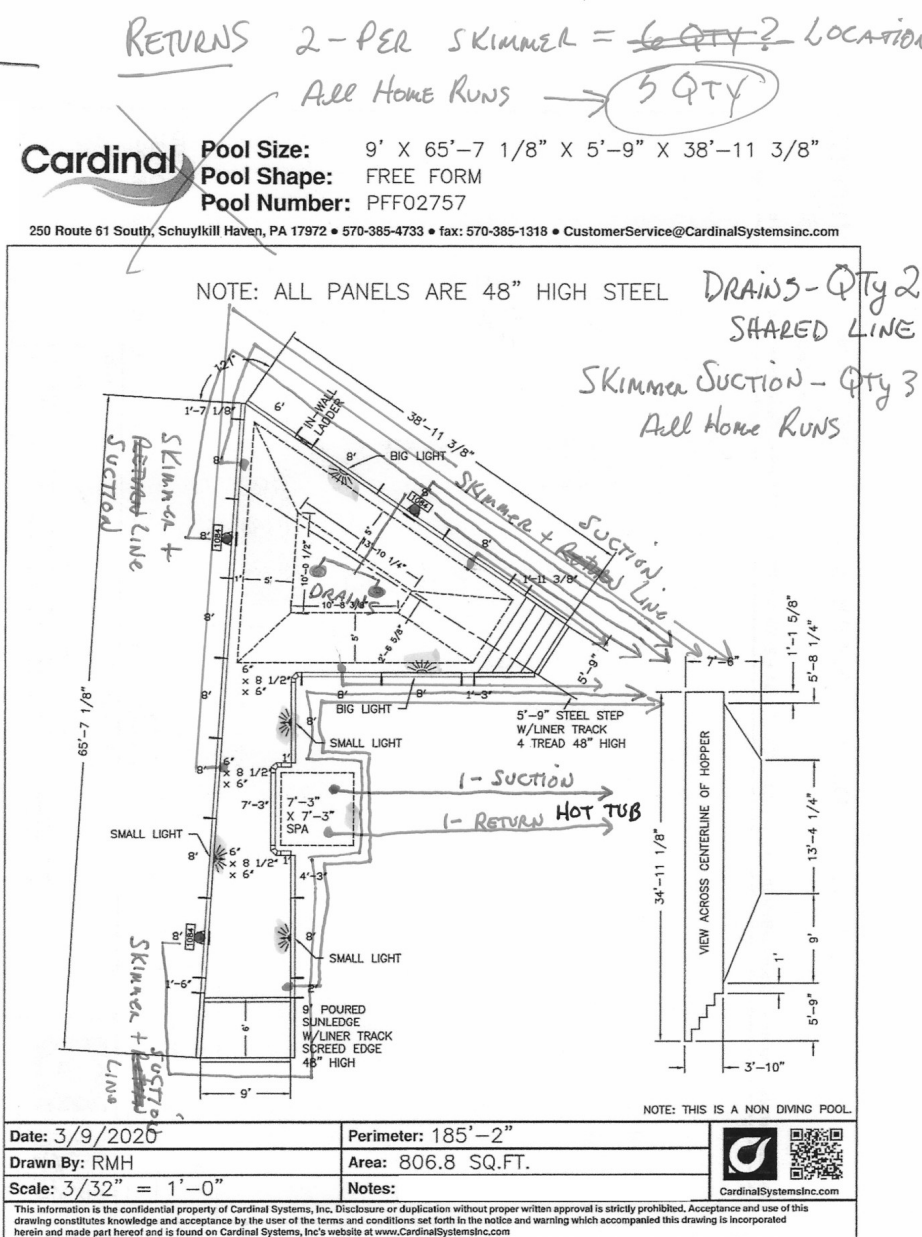
Retaining walls

Charcoal precast-concrete retaining walls were installed with gravel fill and drainage by Oakleaf Landscaping.

Pool-house plan

The following patio drawings include the pool-house kitchen, equipment room and adjoining changing areas.

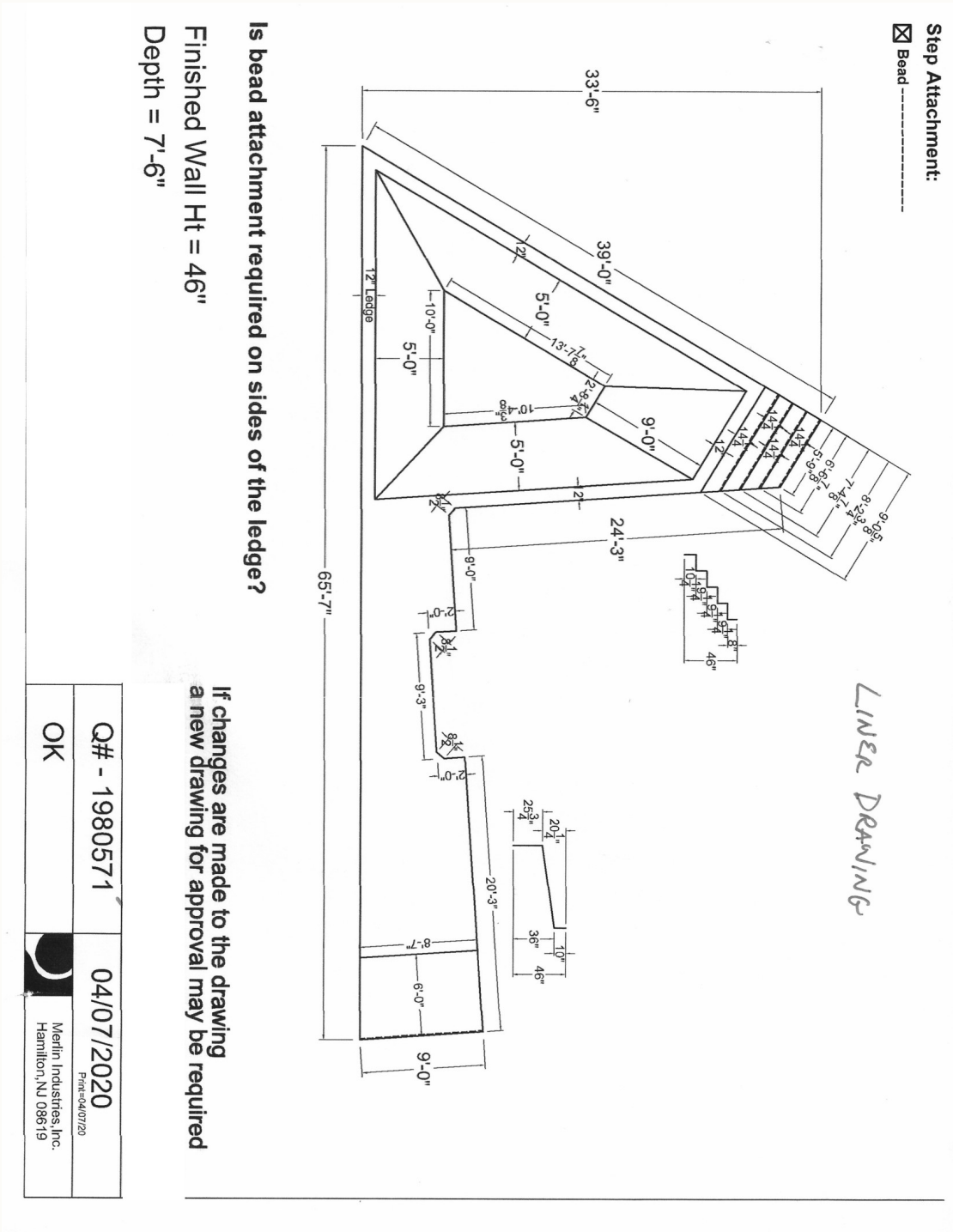
Pool layout & equipment locations



Cardinal wall/layout drawing, March 9, 2020. Superseded liner note omitted; Merlin liner confirmed by builder.

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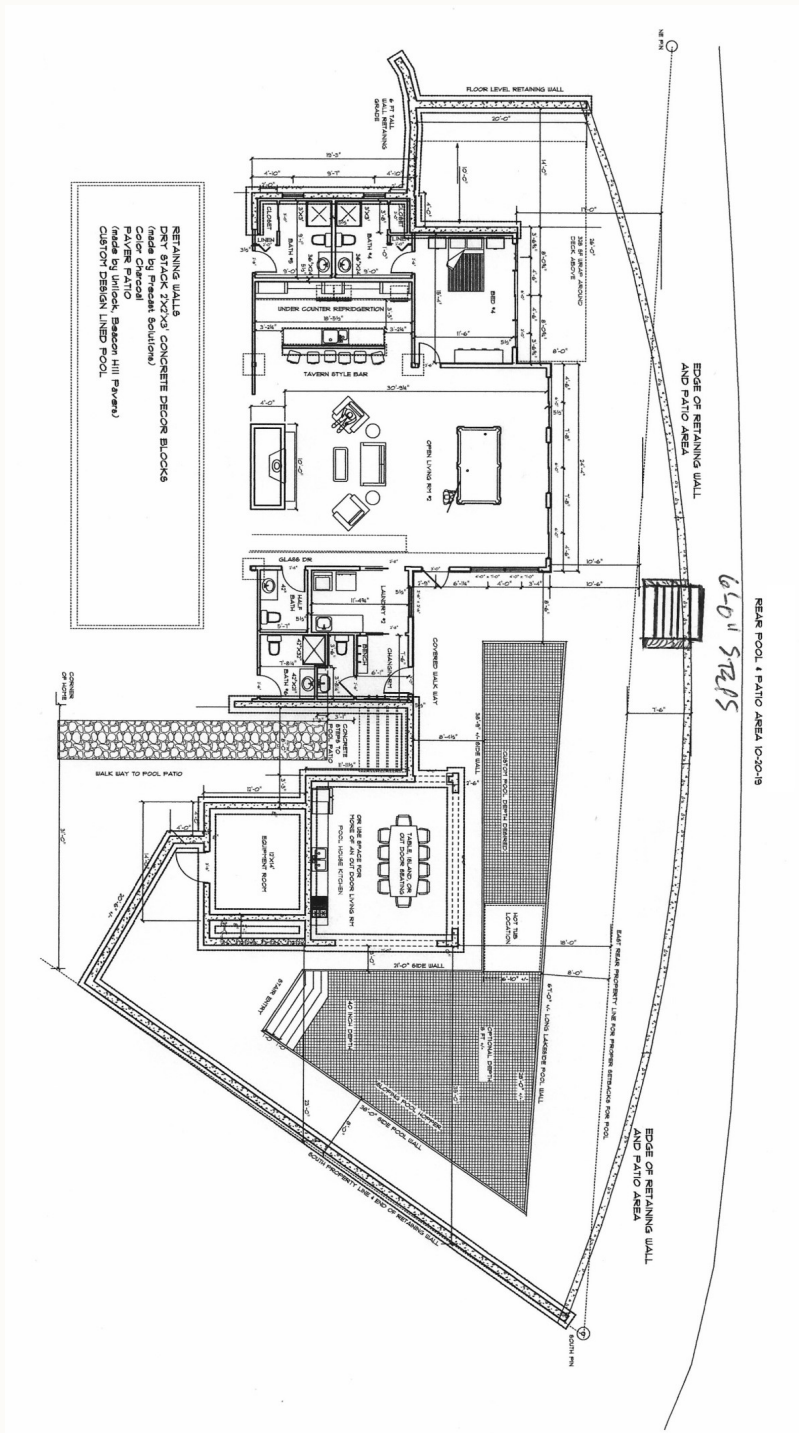
Merlin liner & step drawing



Merlin liner selected, confirmed by builder. Drawing dated April 7, 2020; original liner and step geometry.

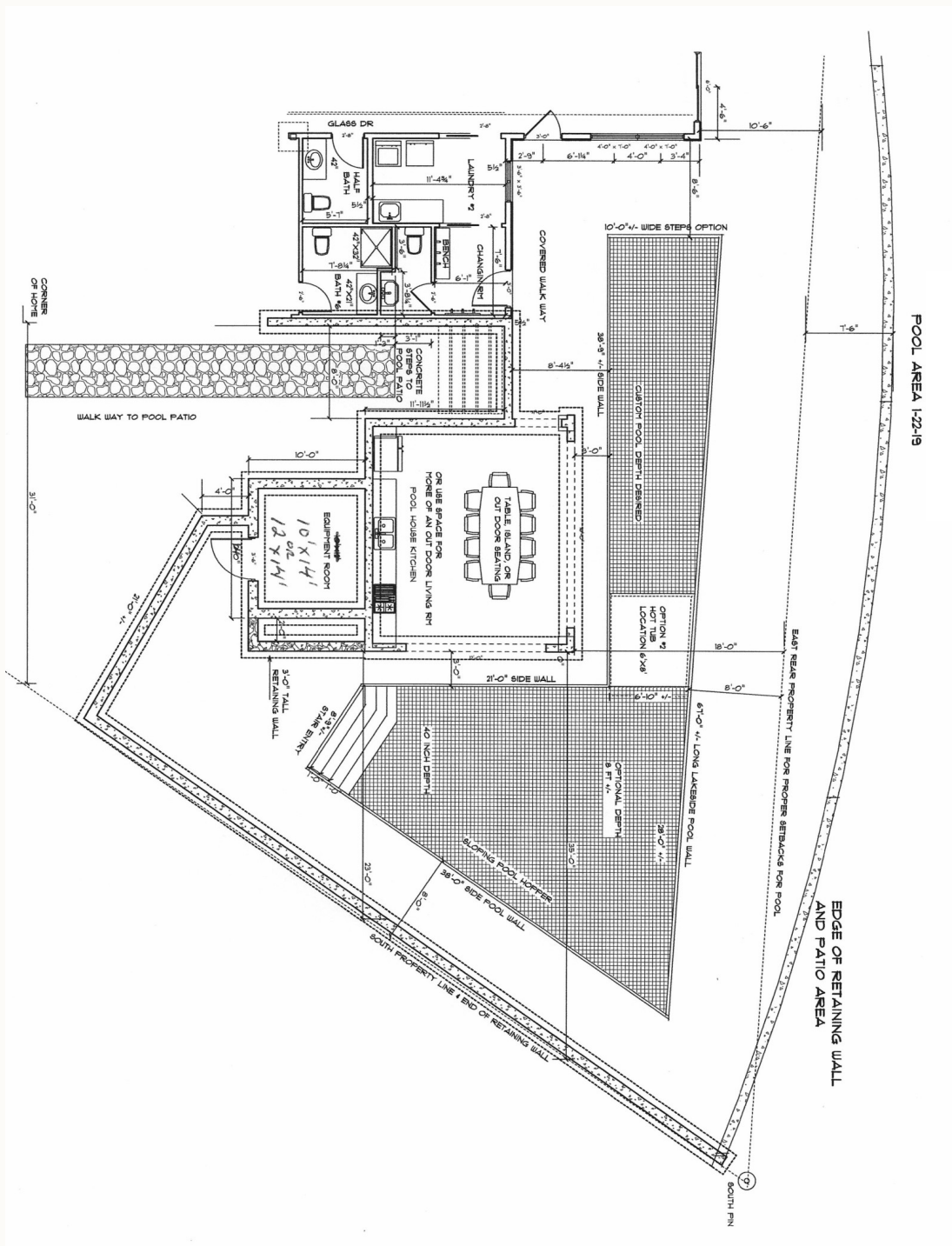
Based on original plans and builder information. Features and selections may have changed.
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Rear patio & pool setting



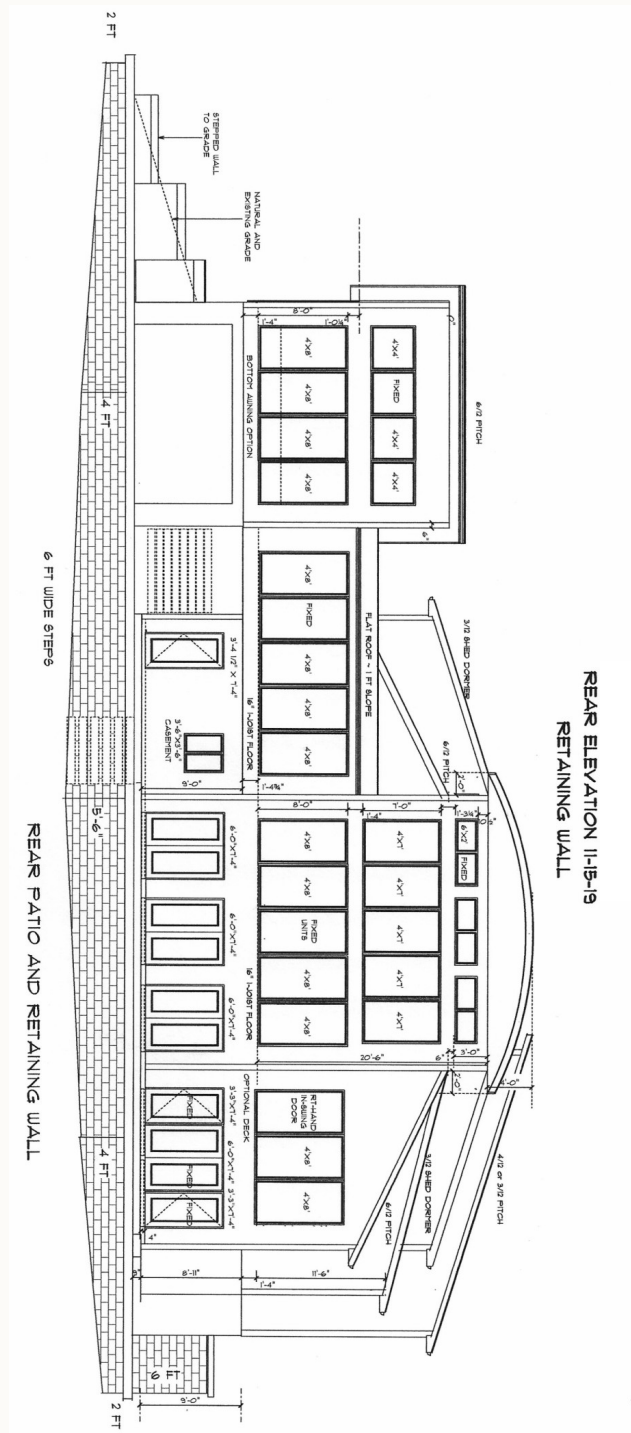
Rear pool and patio drawing dated October 20, 2019. Earlier design configuration; pool shop drawings contain later revisions.

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Rear patio & retaining-wall elevation



Rear elevation dated November 15, 2019. Patio, steps and retaining-wall reference.

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Waterfront, Dock & Grounds

Two-level dock construction, landscape connections and site drainage.

Waterfront living

Two-level dock

BDK constructed the dock with lower-level water access and an upper sun deck shown at approximately 31 by 25 feet in the drawings.

Structural support

The builder describes solid concrete pilasters, steel anchors and upgraded framing.

Dock surfaces

Azek decking is identified by the builder. Duradek Ultra Legacy in Barnwood provides the upper-level waterproof deck surface.

Storage and water

The dock storage closet includes hot and cold water, according to the builder.

Electrical infrastructure

The project electrical record lists a 100-amp underground dock service and dock lighting work.

Grounds & water management

Existing seawall

The existing seawall was retained during the building project.

Landscape connections

Patios, steps and retaining walls connect the residence, pool area and waterfront across the sloped site.

Retaining-wall drainage

The builder reports gravel fill and drainage tile behind retaining walls installed by Oakleaf Landscaping.

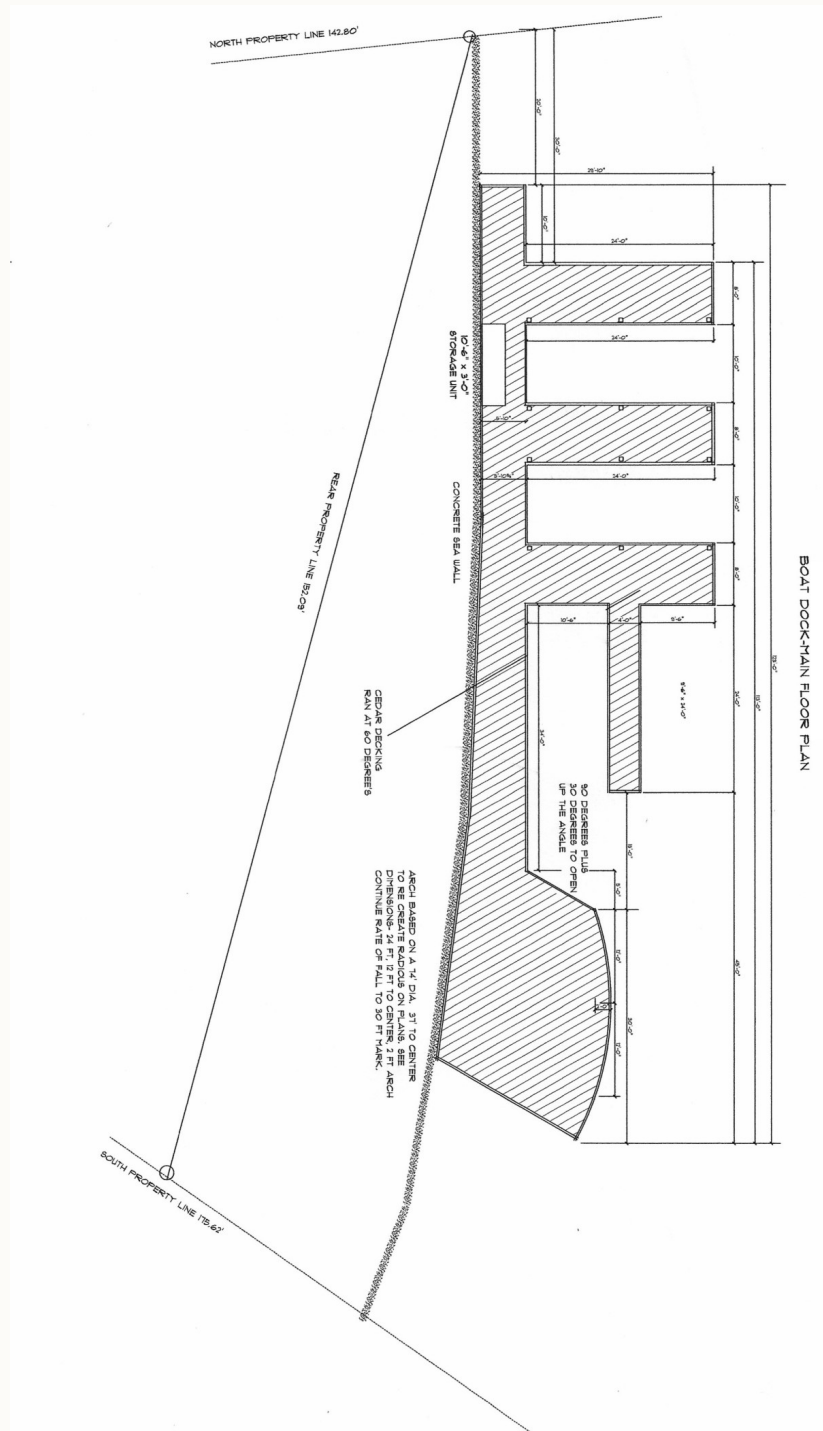
Driveway drainage

Storm catch basins at the upper drive, garage approaches and front of the home route collected water toward the lake or to daylight.

Shoreline reference

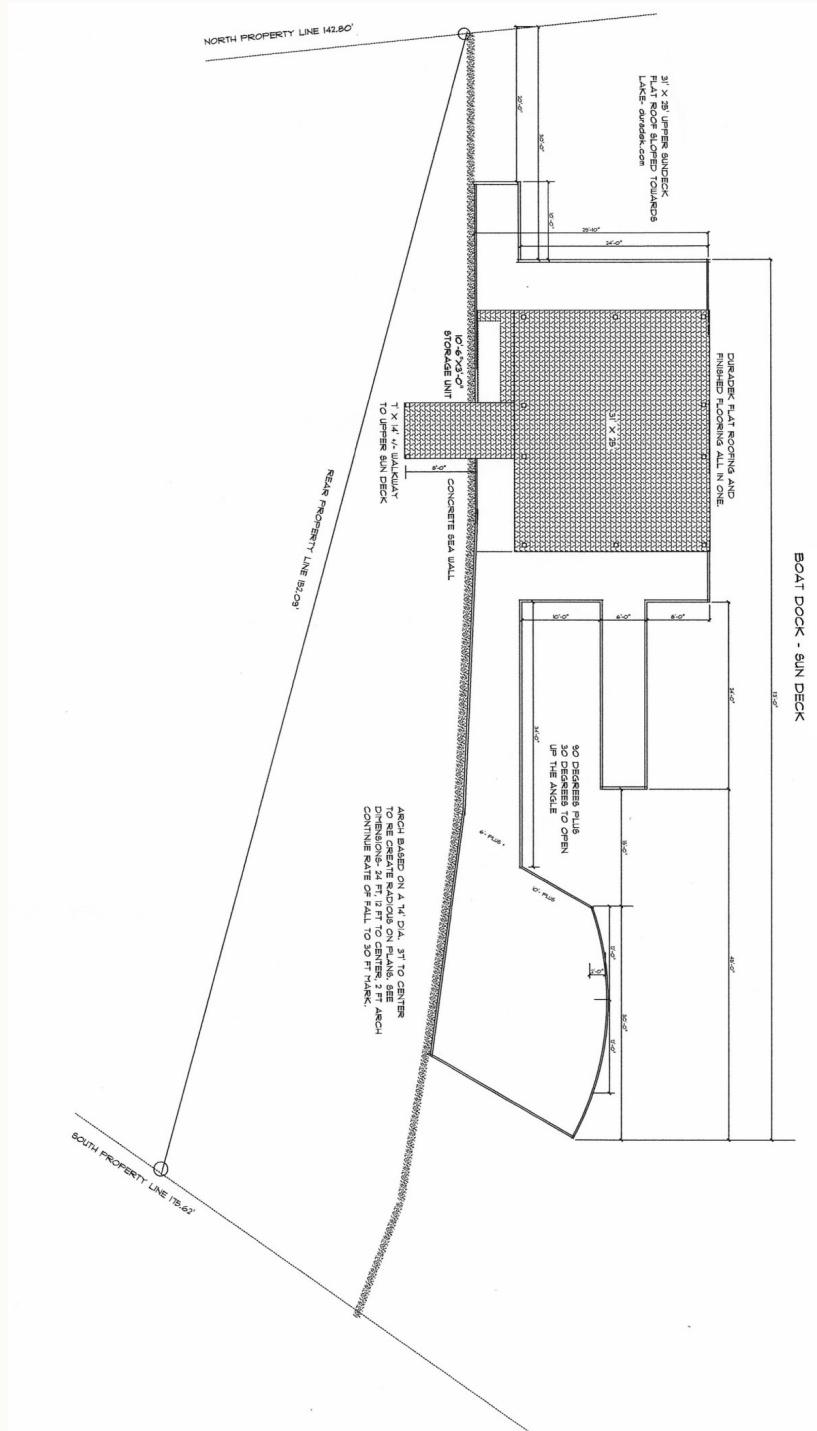
The following dock drawings show the intended layout and structural relationships. Early material notes may differ from the builder's account of the finished installation.

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Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.

Dock upper sun-deck plan



Historical dock construction reference. Builder-reported finished decking is Azek with Duradek at the upper level; early plan notes may differ.

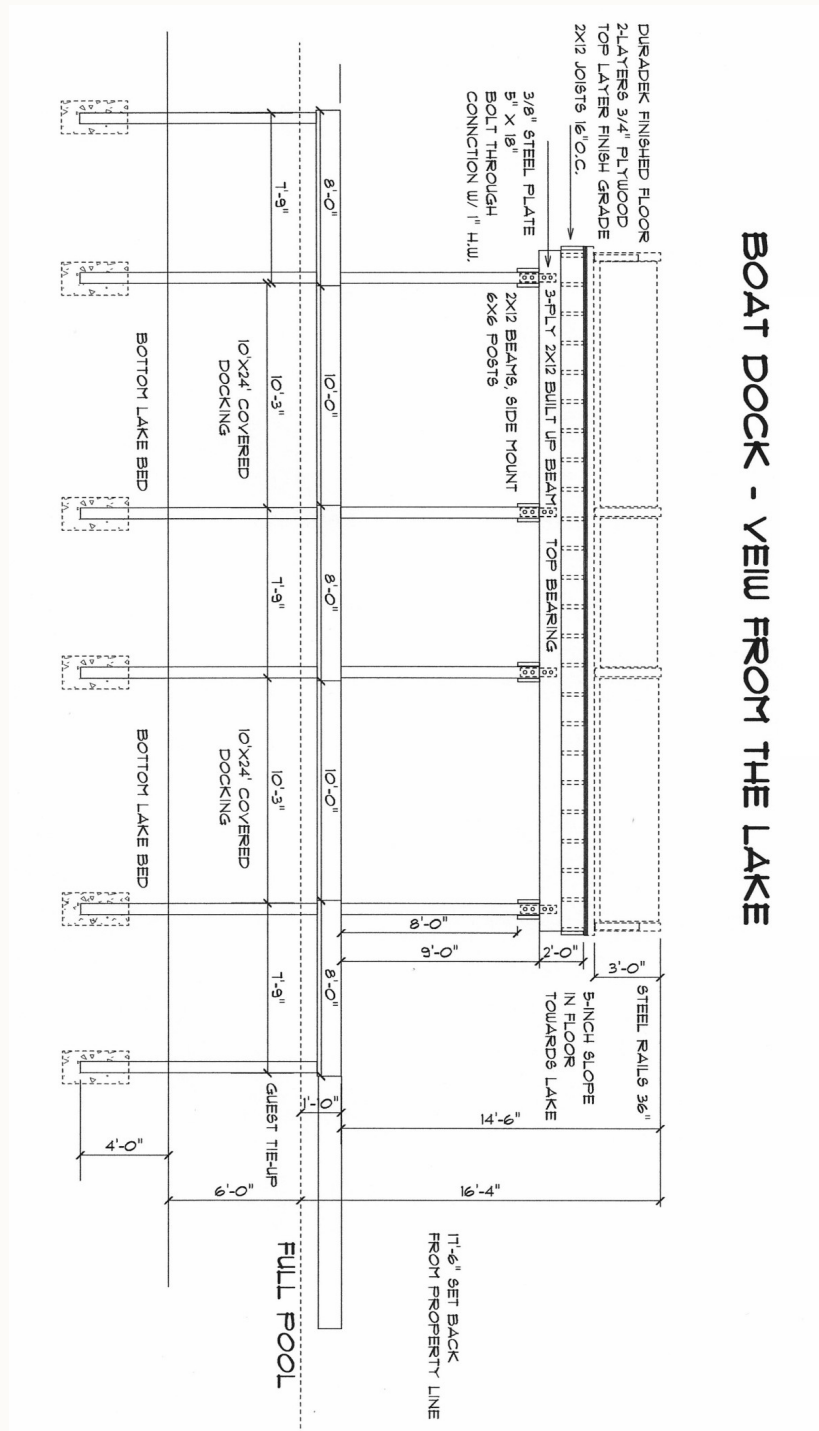
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Dock structural elevation



Historical dock construction reference. Builder-reported finished decking is Azek with Duradek at the upper level; early plan notes may differ.

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Property Plans & Reference

Architectural drawings and a guide
to the supporting plan record.

Architectural plan guide

This section gathers the 15 architectural sheets supplied for the home, including the two supplemental structural sheets added to the original 13-page packet.

Included in this set

Exterior elevations, floor and foundation plans, roof information, building sections and structural details, retained in the assembled source sequence.

Related drawings elsewhere

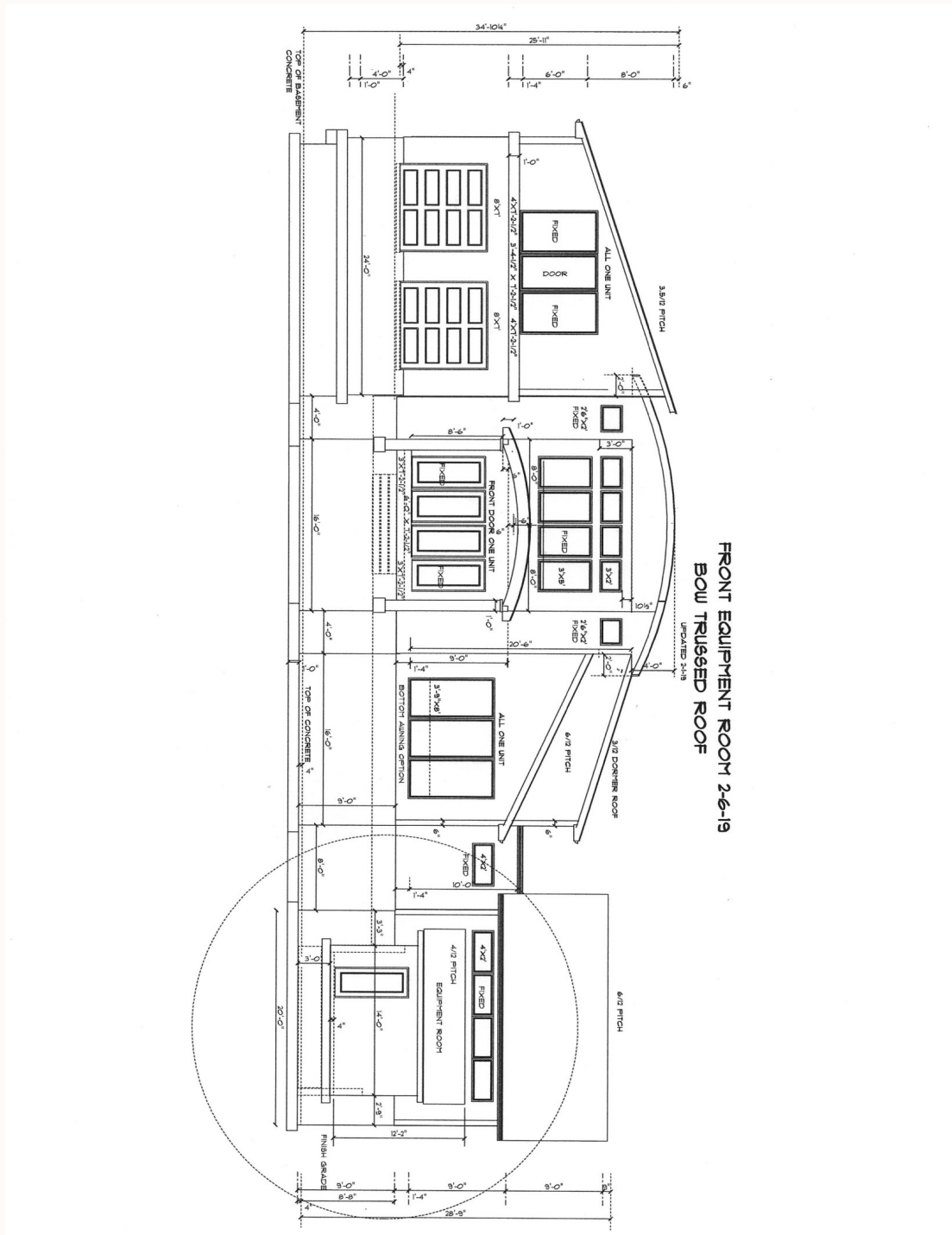
Selected cabinetry drawings appear in Tab 3. Pool, patio and equipment-room drawings appear in Tab 6. Dock references appear in Tab 7.

Reading the drawings

Some sheets are turned to use more of the page and keep detail larger. The original dimensions remain on the drawings, but the printed pages are reduced and should not be measured as scale drawings.

Historical reference

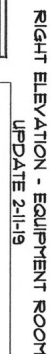
Plans and selection schedules reflect design and construction records. Field changes, substitutions and later improvements may differ. Dimensions and current conditions should be confirmed independently.



Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.



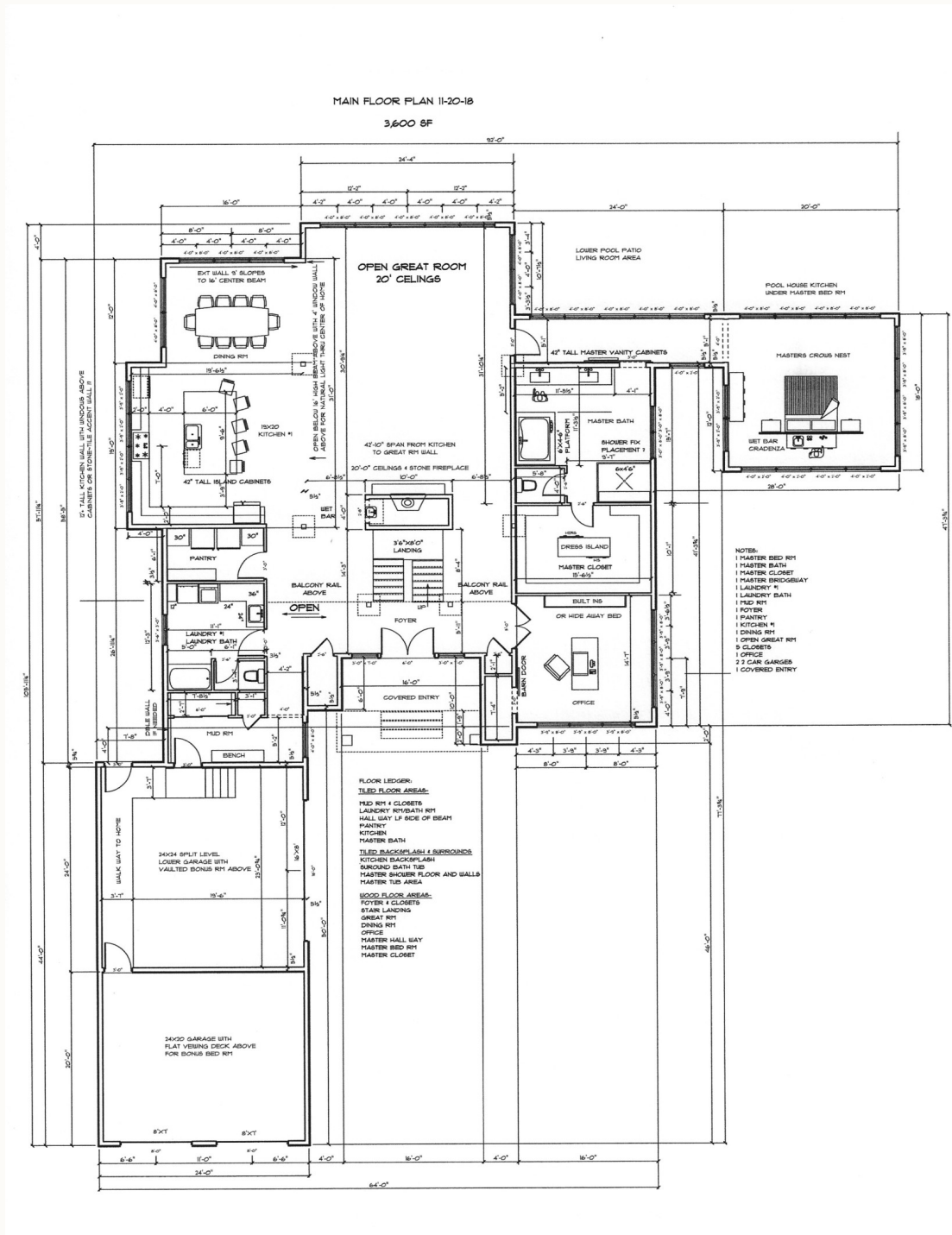
Right elevation



Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.



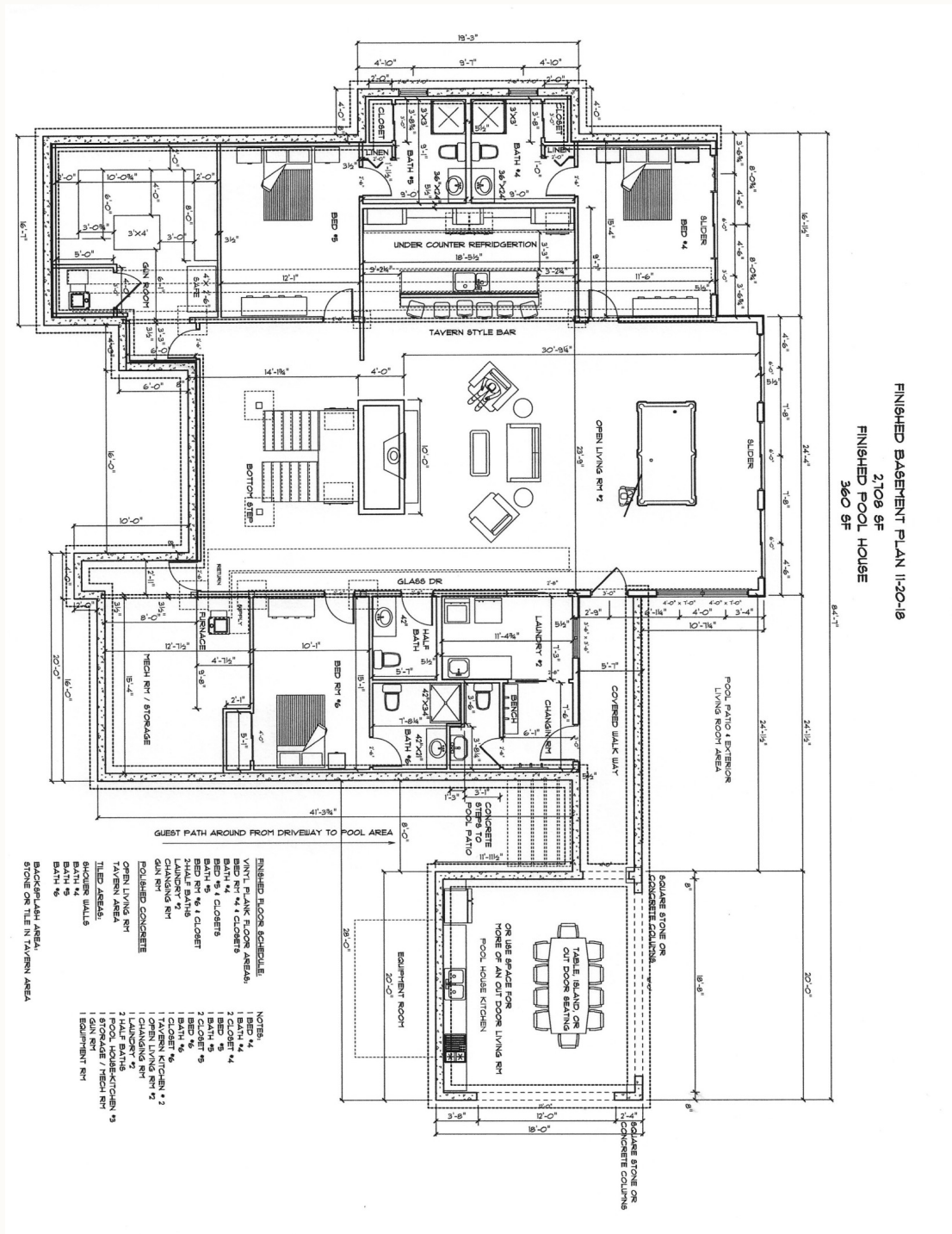
Main-floor plan



Architectural sheet 05 of 15. Historical reference, reduced from the source drawing; do not scale.

Based on original plans and builder information. Features and selections may have changed.
Buyers should independently verify current specifications and conditions.

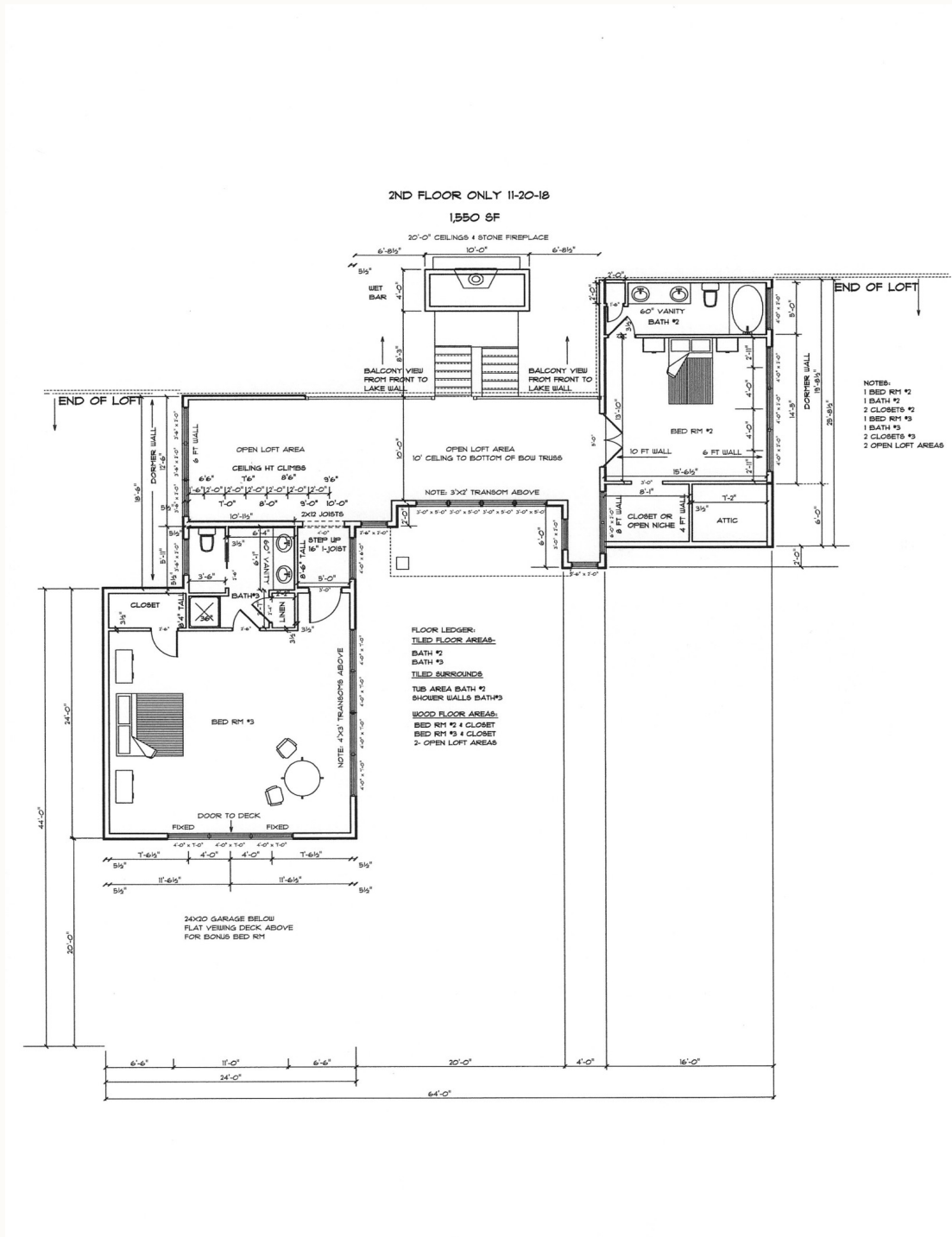
Lower-level floor plan



Architectural sheet 06 of 15. Historical reference, reduced from the source drawing; do not scale.

Based on original plans and builder information. Features and selections may have changed.
Buyers should independently verify current specifications and conditions.

Second-floor plan

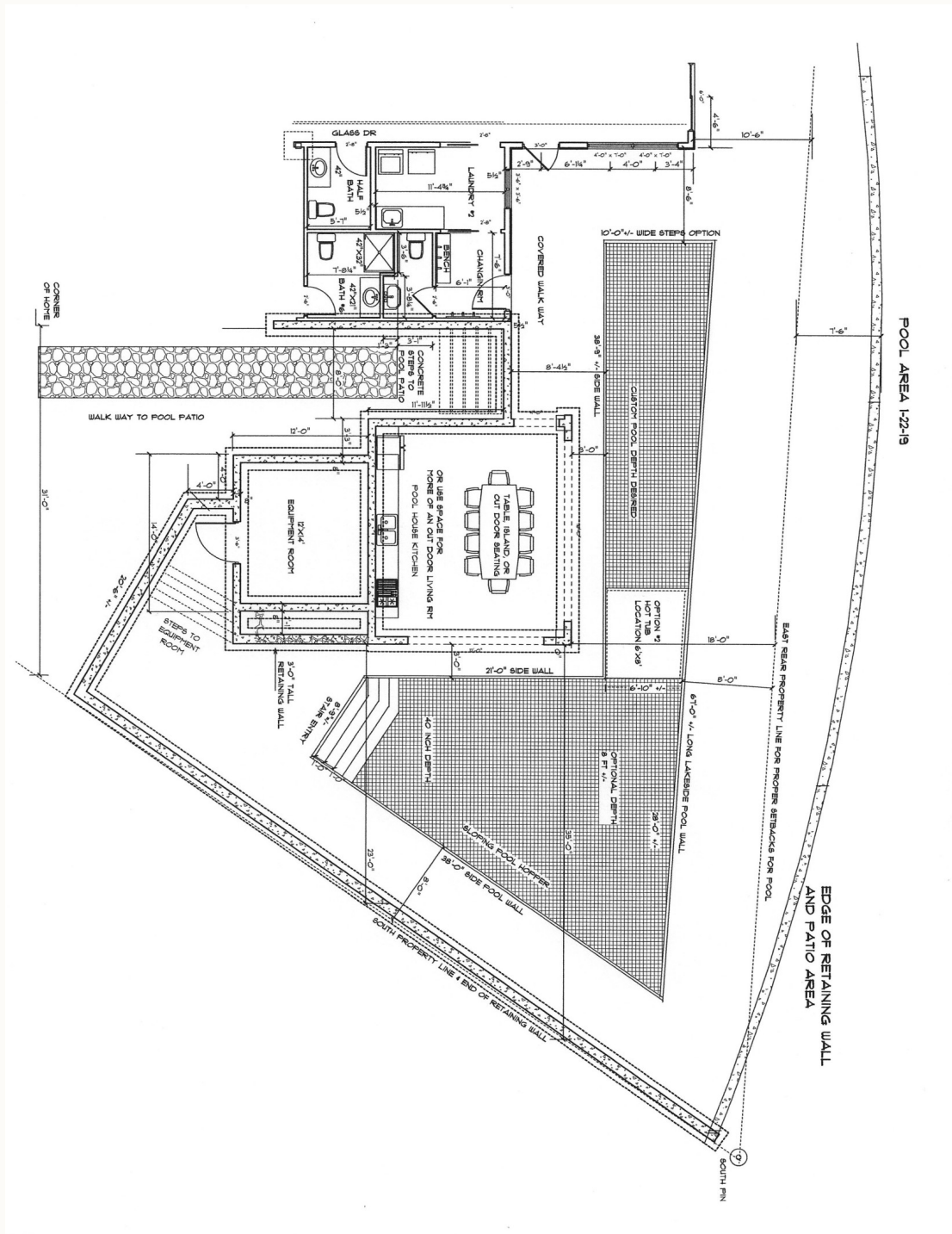


Architectural sheet 07 of 15. Historical reference, reduced from the source drawing; do not scale.

Based on original plans and builder information. Features and selections may have changed.
Buyers should independently verify current specifications and conditions.



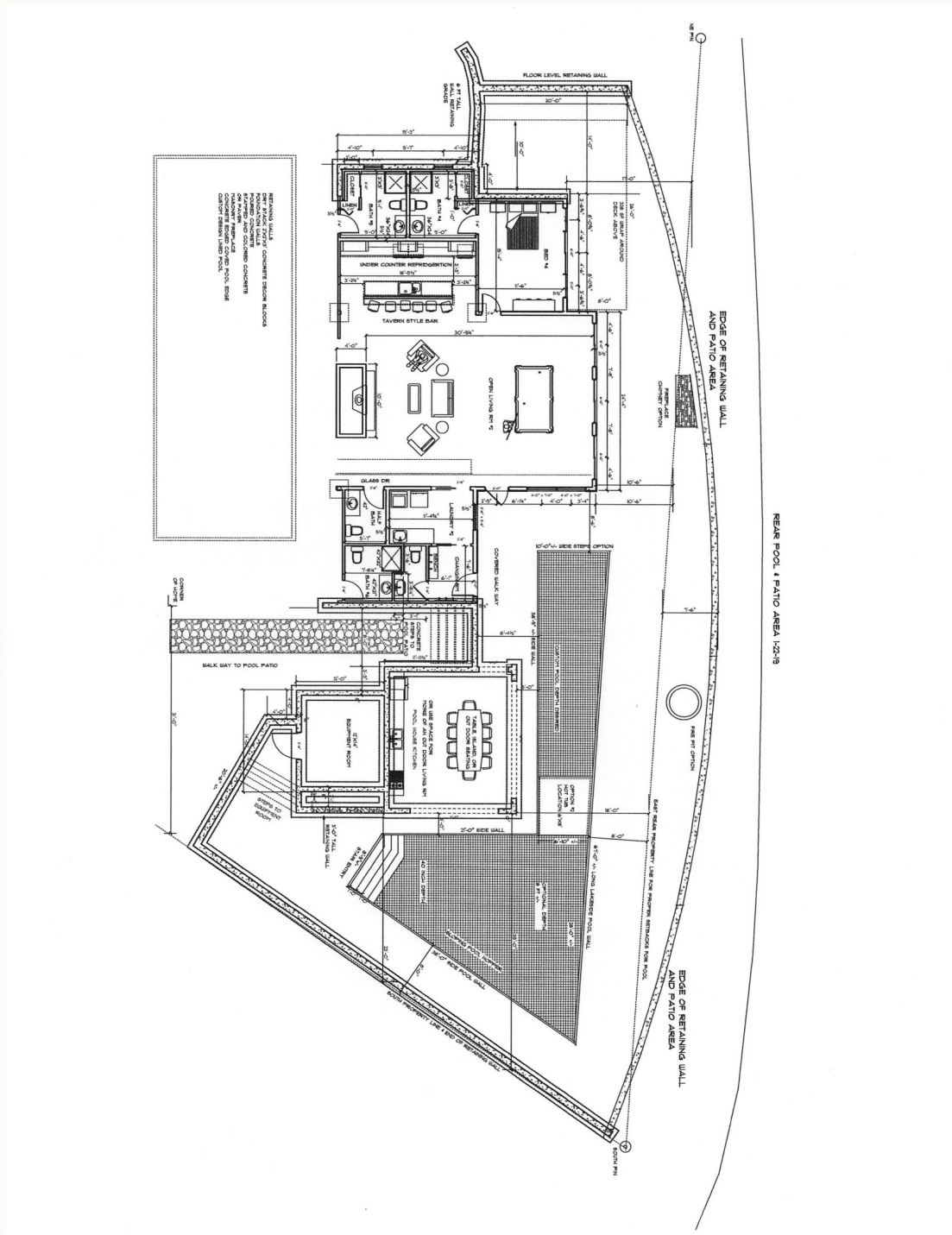
Pool & equipment-area plan



Architectural sheet 09 of 15. Historical reference, reduced from the source drawing; do not scale.

Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.

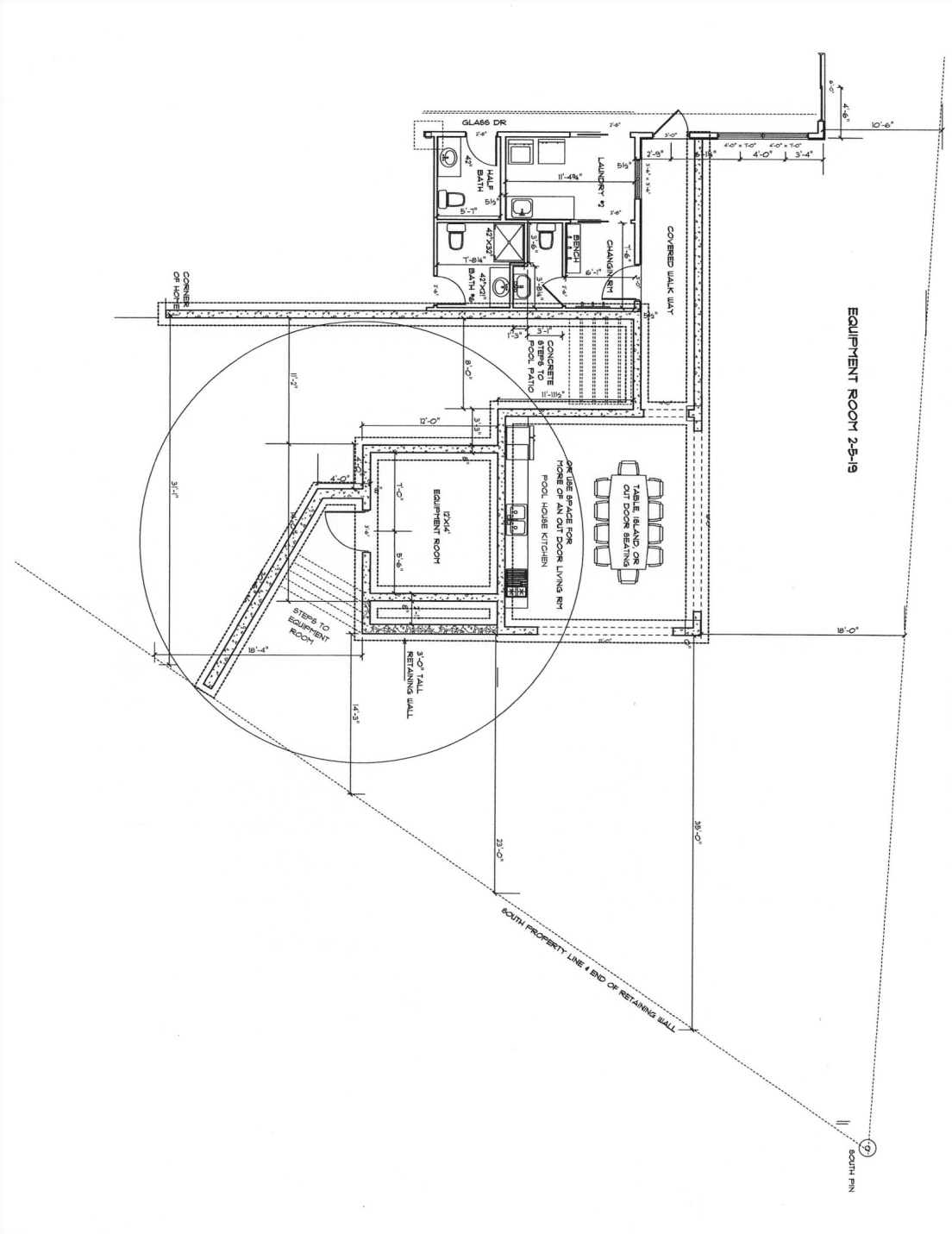
BUILD & PROPERTY PORTFOLIO



Architectural sheet 10 of 15. Historical reference, reduced from the source drawing; do not scale.

Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.

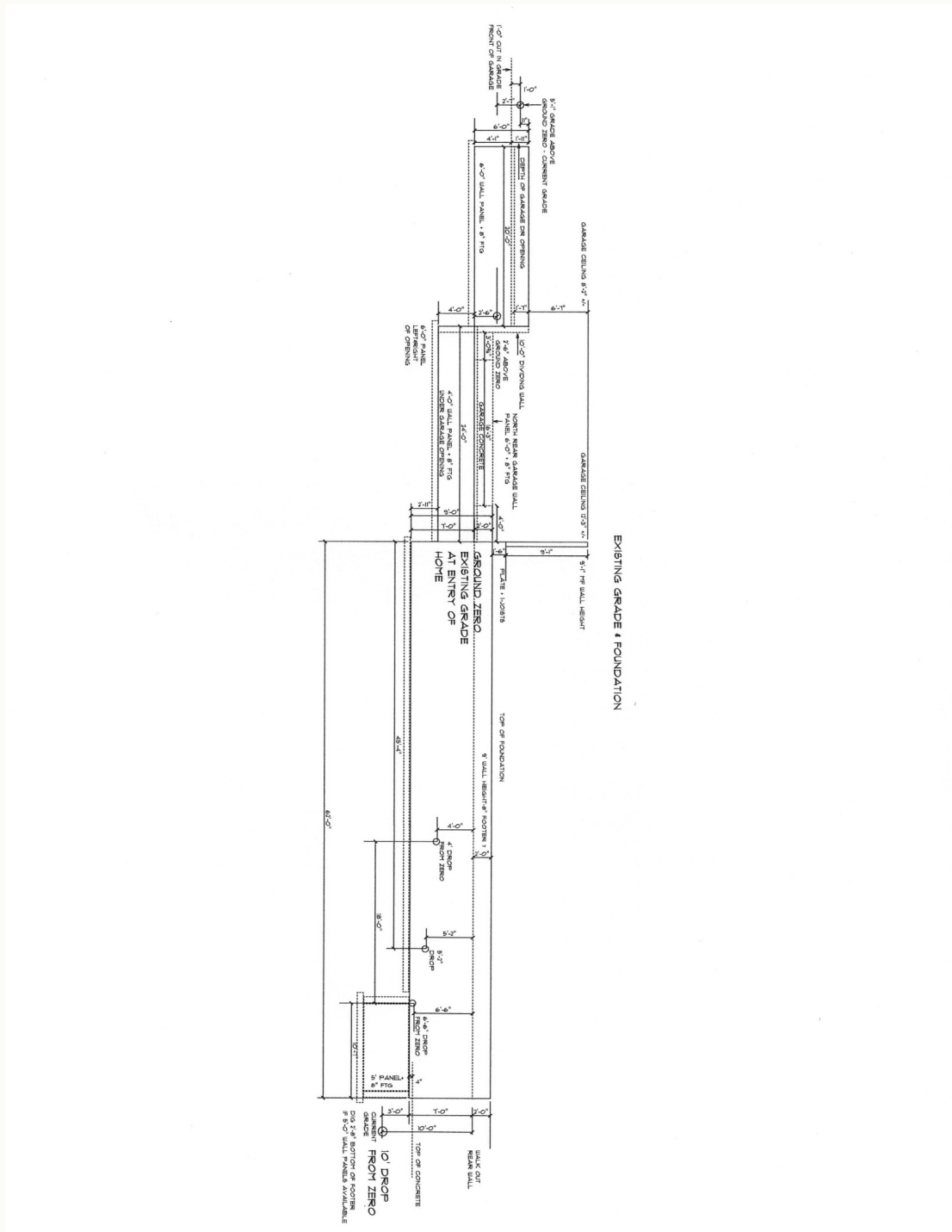
Equipment-room plan



Architectural sheet 11 of 15. Historical reference, reduced from the source drawing; do not scale.

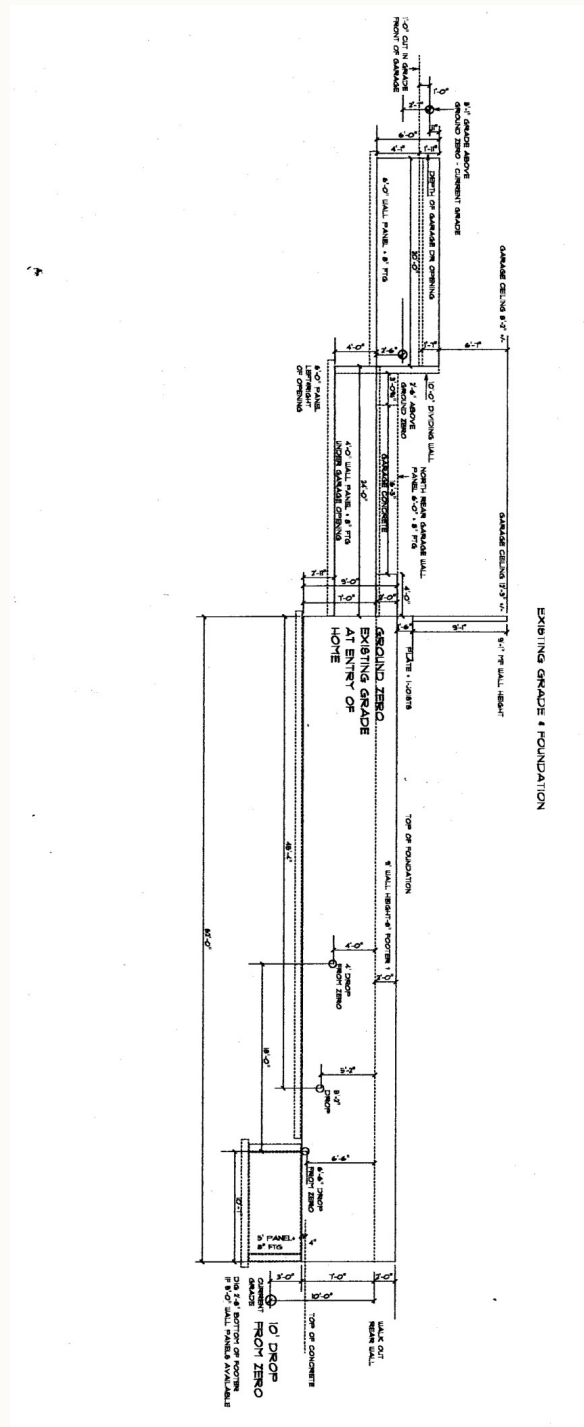
Based on original plans and builder information. Features and selections may have changed.
Buyers should independently verify current specifications and conditions.

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Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.

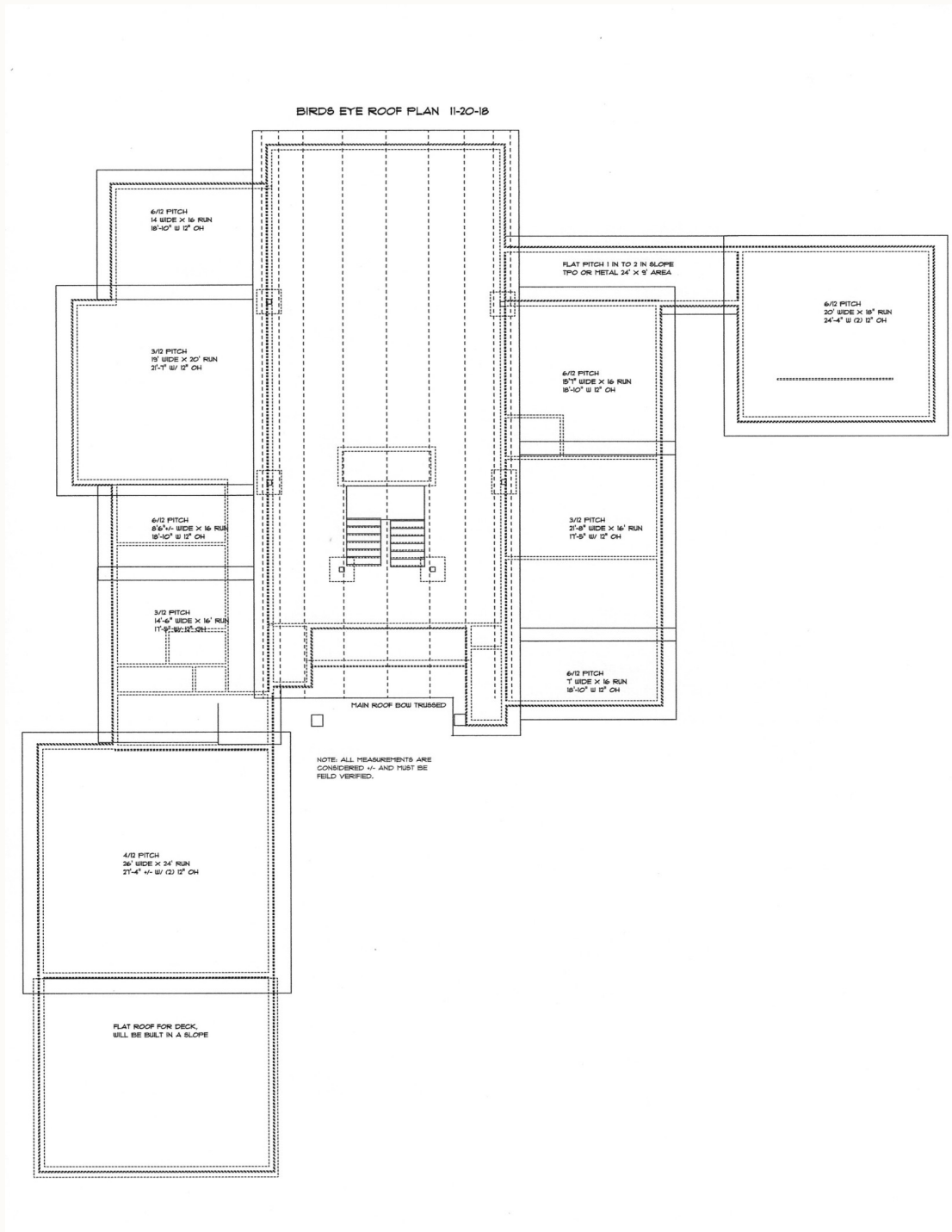
Grade & foundation detail



Architectural sheet 13 of 15. Supplemental structural drawing. Historical reference, reduced from the source drawing; do not scale.

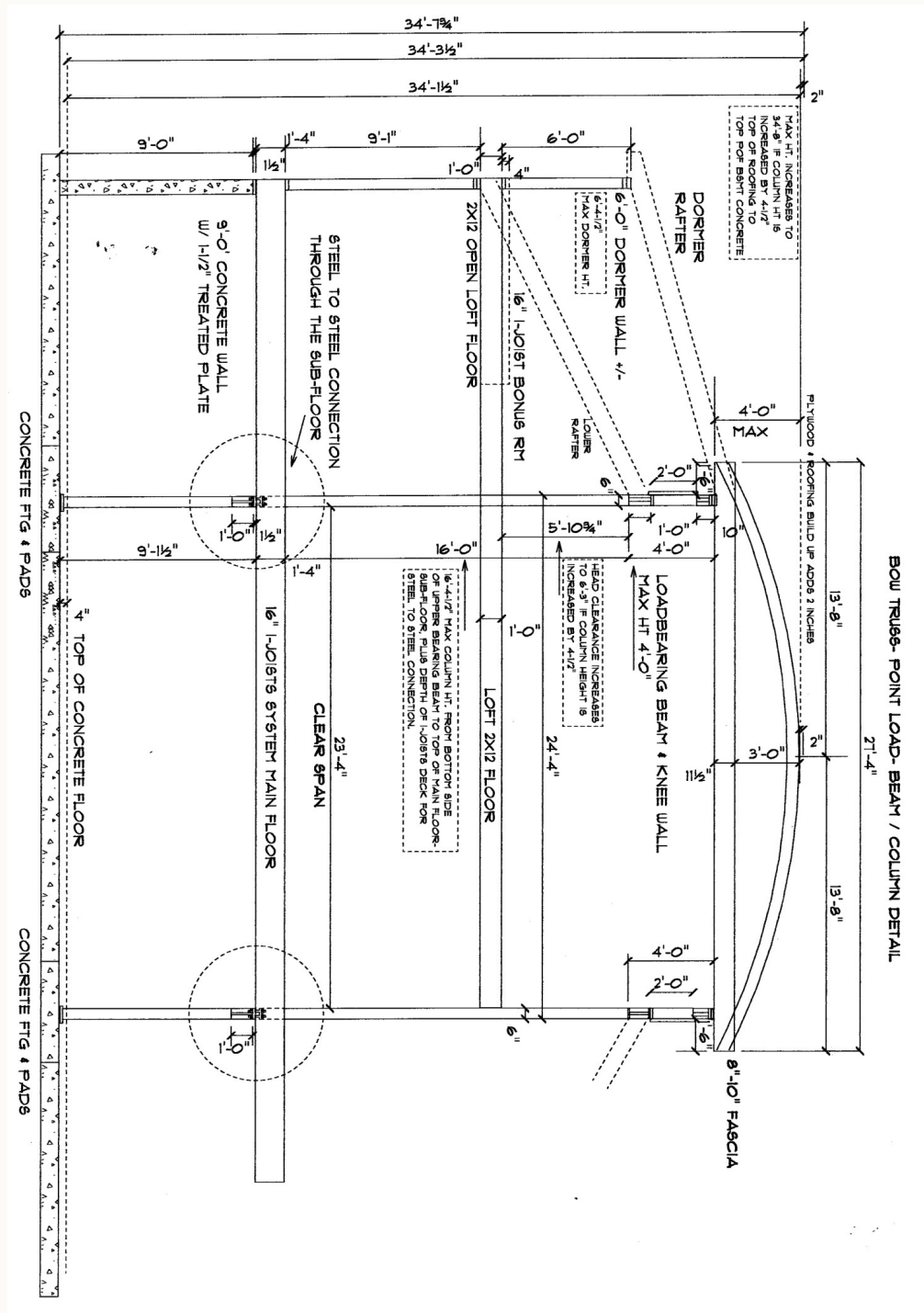
Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.

Roof plan



Architectural sheet 14 of 15. Historical reference, reduced from the source drawing; do not scale.

Based on original plans and builder information. Features and selections may have changed. Buyers should independently verify current specifications and conditions.



Buyers should independently verify current specifications and conditions.